

# TOWN OF YARROW POINT

KING COUNTY

WASHINGTON

## SALLY'S ALLEY PHASE 2



### TOWN OFFICIALS

KATY HARRIS  
Mayor

STEPHAN LANGERHOLM

STEVE BUSH  
Town Council

CHUCK PORTER

MICHAEL HYMAN

Town Council

KATHY SMITH

STACIA SCHROEDER, P.E  
TOWN ENGINEER

BONNIE RITTER  
CLERK-TREASURER

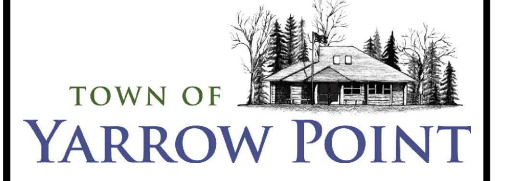
APPROVAL FOR CONSTRUCTION
BY: TOWN OF YARROW POINT
DATE: JANUARY 2025
APPROVAL EXPIRES: JANUARY 2026



3710 168TH STREET NE, BLDG. B, SUITE 210  
ARLINGTON, WASHINGTON 98223 (360) 454-5490

JANUARY 2025  
G&O JOB #23445.02





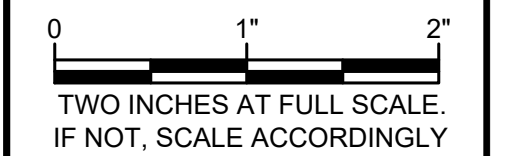
TOWN OF  
YARROW POINT

SALLY'S ALLEY  
PHASE 2

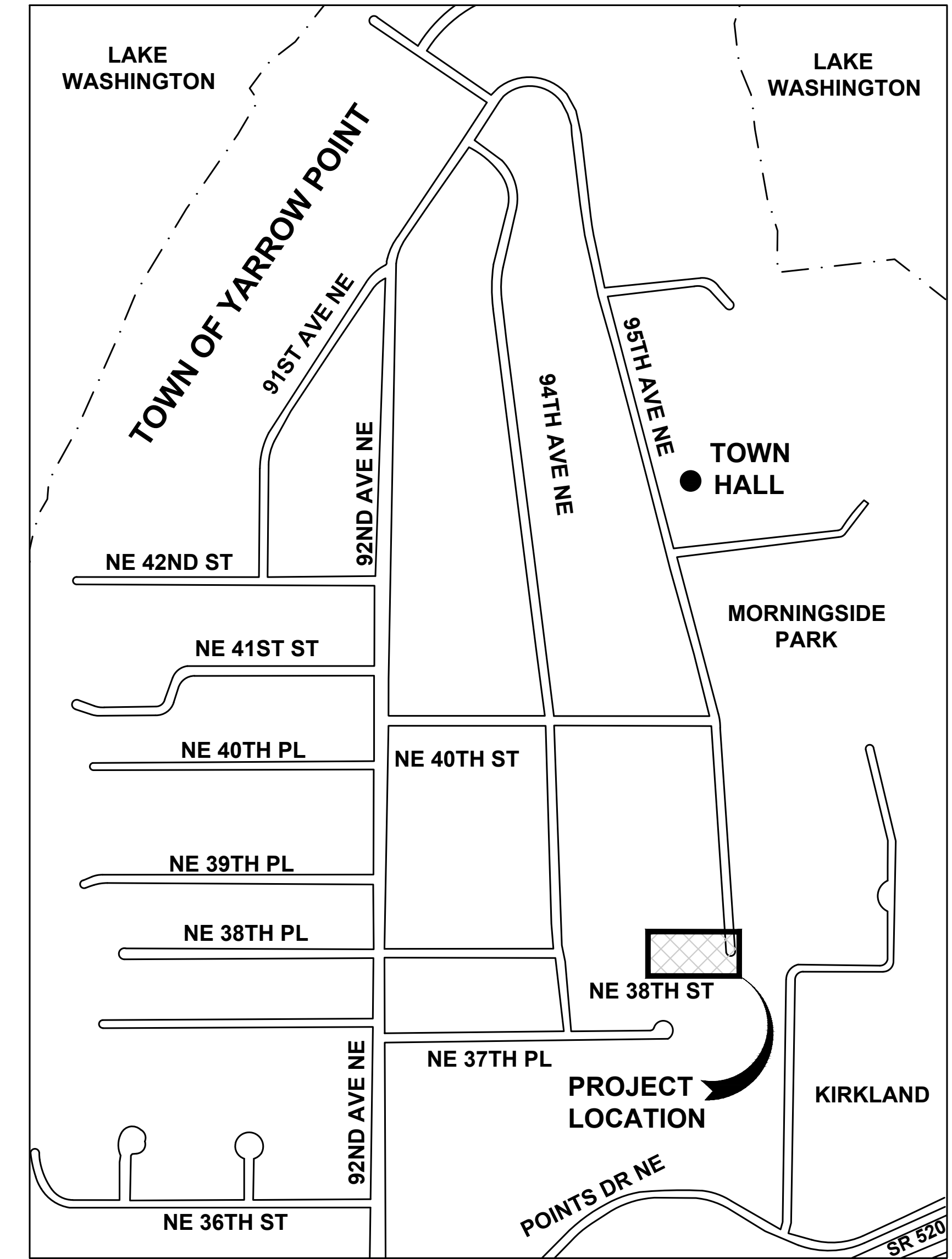
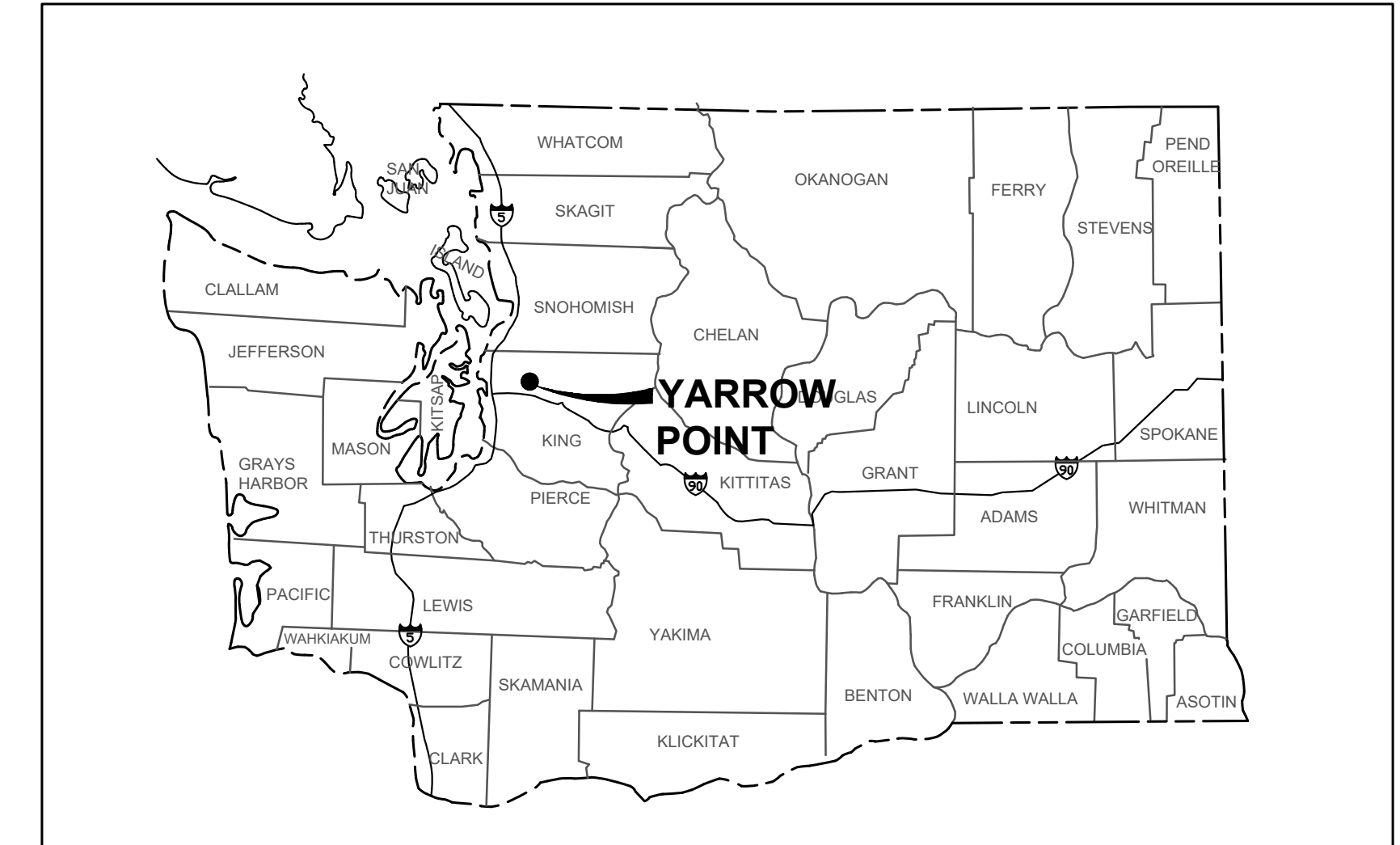
No.	DATE	REVISION

ISSUED FOR:	BID PLAN SET
ISSUE DATE:	JAN 2025
APPROVED BY:	KWB
CHECKED BY:	CJB
DRAWN BY:	MAN

G & O JOB NO.: 23445.02  
FILE: LEGEND.DWG



CIVIL  
VICINITY & LOCATION  
MAPS, SYMBOL  
LEGEND,  
ABBREVIATIONS AND  
INDEX



**RIGHT-OF-WAY DISCLAIMER**  
THE RIGHT-OF-WAY AND/OR  
PROPERTY LINES SHOWN HEREON  
ARE BASED ON AVAILABLE  
INFORMATION, NOT ON A SURVEYED  
LOCATION AND ARE ONLY  
APPROXIMATE.

**ABBREVIATIONS**

AC	ASBESTOS CEMENT PIPE
ADJ	ADJUST
ALT	ALTERNATE
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
ASPH	ASPHALT
ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS
AVE	AVENUE
BLDG	BUILDING
BO	BLOW OFF
BOP	BEGINNING OF PROJECT
C	CONDUIT
CB	CATCH BASIN
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
CONT	CONTINUED/CONTINUOUS
CPEP	CORRUGATED POLYETHYLENE PIPE
CTR	CENTER
CY	CUBIC YARD
€	CENTER LINE
DI	DUCTILE IRON
DIA	DIAMETER
DIM	DIMENSION
DWGS	DRAWING(S)
E	EAST
EA	EACH
EL	ELEVATION
ELEC	ELECTRICAL
EOP	END OF PROJECT
EX	EXISTING
FIG	FIGURE
FT	FEET
GA	GAUGE
GALV	GALVANIZED
HDPE	HIGH DENSITY POLYETHYLENE PIPE
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
IN	INCH
INV	INVERT
L	LENGTH
LB	POUND
LF	LINEAR FEET
MAX	MAXIMUM
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
N	NORTH
NO	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
PERF	PERFORATED
PP	POWER POLE
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
QTY	QUANTITY
R	RADIUS
R/W	RIGHT-OF-WAY
REINF	REINFORCE
RR	RAILROAD
S	SOUTH
SCH	SCHEDULE
SF	SQUARE FEET
SHT	SHEET
SQ	SQUARE
STA	STATION
STD	STANDARD
TC	TOP OF CURB
TEL	TELEPHONE
TESC	TEMPORARY EROSION AND SEDIMENT CONTROL
TYP	TYPICAL
UGC	UNDERGROUND CONVERSION
VERT	VERTICAL
W	WEST
W	WITH
W/O	WITHOUT
WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION

**EXISTING LEGEND**

SURFACE FEATURES	DESCRIPTION	SYMBOLS	DESCRIPTION	SYMBOLS	DESCRIPTION
---	CENTER LINES	⊗	WATER VALVE	☀	TRAFFIC SIGNAL POLE
---	RIGHT-OF-WAY LINES	⊙	HYDRANT	☀	STREET LIGHT
---	LOT LINES	⊙	FDC	☀	LUMINAIRE(DOUBLE)
---	WATER LINE	⊗	POST INDICATOR VALVE	☀	LUMINAIRE(SINGLE)
---	DITCH LINE	⊗	WATER BLOW OFF	☀	PEDESTRIAN LIGHT POLE
---	SANITARY SEWER LINE	⊗	WATER METER	☀	AREA LIGHT
---	STORM DRAIN LINE	⊗	IRR. CONTROL VALVE	☀	GAS METER
---	GAS LINE	⊗	MANHOLES (SS/SD)	☀	GAS VALVE
---	UNDERGROUND POWER LINES	⊗	CB	☀	SIGN
---	UNDERGROUND COMMUNICATION LINES (COMCAST/LUMEN)	⊗	POWER TRANSFORMER	☀	MAILBOX
---	OVERHEAD UTILITY LINES	⊗	POWER/COMM. VAULT	☀	NEWS PAPER BOX
---	HIGH WATER LINE	⊗	WATER/UTILITY VAULT	☀	TRASH CAN
---	CHAIN LINK FENCE	⊗	POWER MANHOLE	☀	ROCKERY
---	WIRE FENCE	⊗	COMM. MANHOLE	☀	SPOT ELEVATION
---	WOOD FENCE	⊗	WATER MANHOLE	☀	SIZE & TYPE (CONIFEROUS TREE)
---	EDGE OF ASPHALT	⊗	POWER METER	☀	SIZE & TYPE (DECIDUOUS TREE)
		⊗	SURFACE JUNCTION BOX	☀	MAGNETIC NAIL W/ WASHER
		⊗	SUBSURFACE JUNCTION BOX	☀	REBAR AND CAP (SET)
		⊗	POWER/UTILITY POLE	☀	REBAR AND CAP (FOUND)
		⊗	POWER/UTILITY POLE W/DROP	☀	TACK AND LEAD
		⊗	ANCHOR POLE	☀	HUB AND TACK
		⊗	GUY ANCHOR	☀	CASED MONUMENT
		⊗		☀	SURFACE MONUMENT

**PROPOSED LEGEND**

SURFACE FEATURES	DESCRIPTION	PROPOSED SANITARY/STORM SEWER SYMBOLS	DESCRIPTION
---	GRAVEL SURFACING	⊙	STORM DRAIN MANHOLE/TYPE 2 CATCH BASIN (ACTUAL DIMENSION SHOWN FOR PROPOSED)
---	CENTERLINE OF CONSTRUCTION	⊙	STORM DRAIN CATCH BASIN, CONCRETE INLET, OR YARD/AREA DRAIN (ACTUAL DIMENSION SHOWN FOR PROPOSED)
---	SAWCUT LINE (APPROXIMATE LOCATION)	⊙	
---	STORM DRAIN (SIZE AS NOTED)	⊙	
PROPOSED SURFACE FEATURES/LANDSCAPING			
---		☀	SIGN
---		☀	ROCKERY
---		☀	TIMBER EDGING

**ORDER OF WORK**

1. ATTEND PRECONSTRUCTION MEETING
2. PROVIDE MATERIAL SUBMITTALS
3. CALL FOR UTILITY LOCATES
4. INSTALL TRAFFIC CONTROL AND EROSION CONTROL DEVICES
5. PERFORM POTHOLING OPERATIONS
6. PROPERTY RESTORATION
7. SUBMIT RECORD DRAWINGS

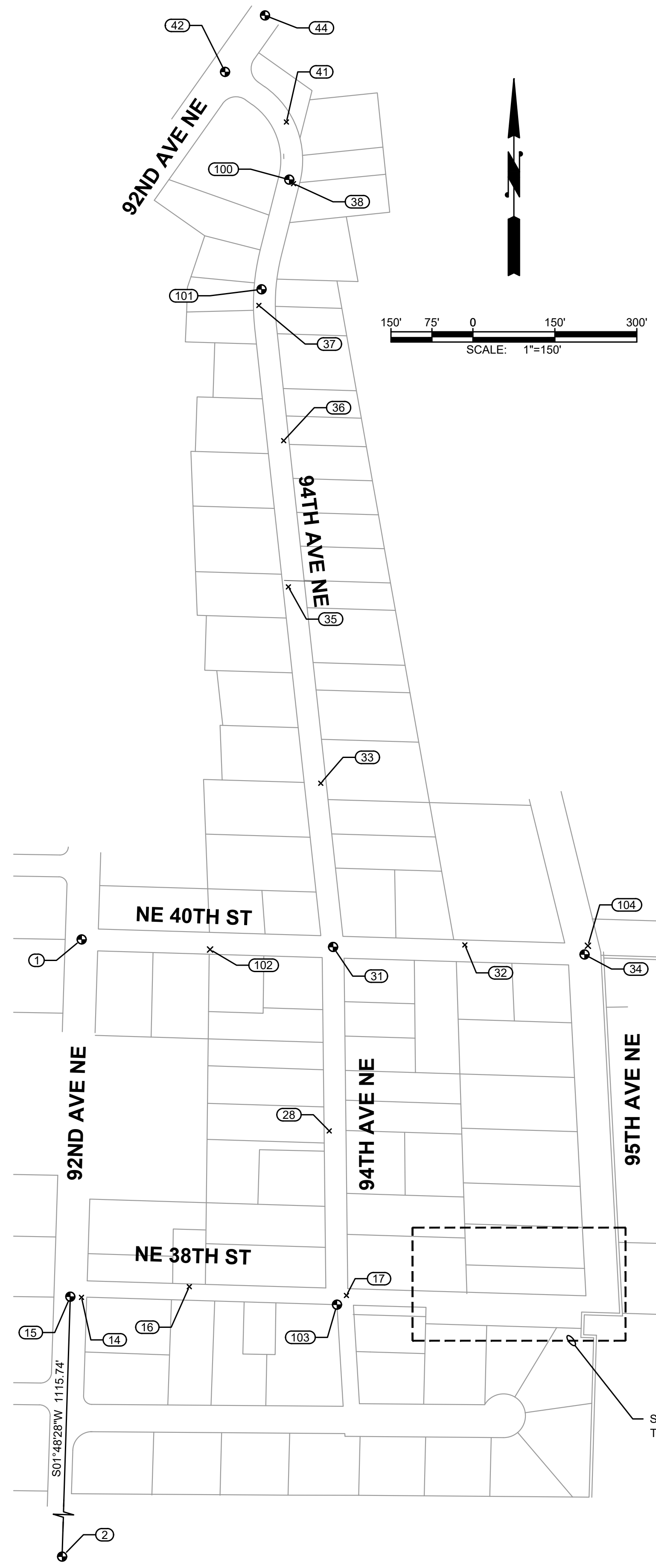
SHEET INDEX	
SHEET #	DESCRIPTION
-	COVER
1	VICINITY & LOCATION MAPS, SYMBOL LEGEND, ABBREVIATIONS AND INDEX
2	SURVEY CONTROL, KEY MAP AND ALIGNMENT TABLES
3	GENERAL CONSTRUCTION NOTES
4	TEMPORARY EROSION CONTROL DETAILS
5	TESC, DEMO, AND STORM PLAN & PROFILE
6	TRAIL AND DRIVEWAY RESTORATION PLAN & PROFILE
7	CONSTRUCTION DETAILS
8	CONSTRUCTION DETAILS

**BURIED UTILITIES IN AREA CALL BEFORE YOU DIG**  
1-800-424-5555  
EXISTING UTILITIES SHOWN ARE FROM THE BEST AVAILABLE INFORMATION AND NO GUARANTEE IS MADE AS TO THE EXACT SIZE, TYPE, LOCATION OR DEPTH

**APPROVAL FOR CONSTRUCTION**  
BY: TOWN OF YARROW POINT  
DATE: JANUARY 2025  
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m:\yarrow point\23445.00 town wide storm and ugc\3 construction\plan revisions\23445.02 sallys alley phase 2\CIVIL\SURVEY CONTROL-3.dwg, 1/23/2025 11:38 AM, CHRIS BACON



**TOWN OF YARROW POINT - TOWN WIDE STORM & UGC  
JOB NUMBER - 23445**

**SURVEY CONTROL & MONUMENTATION**

**HORIZONTAL DATUM:** NAD83/2011  
WASHINGTON PLANE COORDINATE SYSTEM, NORTH ZONE, GRID NORTH  
HOLDING PACE SURVEY COORDS PROVIDED TO GRAY & OSBORNE BY TOWN OF YARROW POINT.  
BASED ON CITY OF BELLEVUE PUBLISHED CONTROL POINTS #34 & #362

**VERTICAL DATUM:** NAVD88  
HOLDING PACE SURVEY PROVIDED TO GRAY & OSBORNE BY TOWN OF YARROW POINT  
BASED ON CITY OF BELLEVUE PUBLISHED CONTROL POINTS #34 & #362

POINT	NORTHING	EASTING	ELEV.	DESCRIPTION
1	238854.95	1299230.91	116.25	SFMC-FOUND MONUMENT IN CASE. 1 3/4" BRASS DISC W/ "X" DOWN 0.55' IN CASE. INTX NE 40TH ST & 92ND AVE NE. CITY OF BELLEVUE HORIZONTAL BENCHMARK: 0034. VERTICAL BENCHMARK: 309.
2	237085.48	1299174.97	153.00	SFMC, PIN SET IN CONCRETE, DOWN 0.5' IN CASE. INTX 92ND AVE NE & NE 34TH ST. CITY OF BELLEVUE HORIZONTAL BENCHMARK: 0362. VERTICAL BENCHMARK: 98.
14	238199.47	1299230.69	132.74	SFNT-FOUND NAIL W/ TAG, NAIL W/ "PACE" CONTROL TAG. SE QUADRANT INTX NE 38TH ST & 92ND AVE NE.
15	238200.66	1299210.16	131.50	SFMC, PIN SET IN CONCRETE, DOWN 0.6' IN CASE. AT CENTERLINE 92ND AVE NE, S OF CENTERLINE OF NE 38TH ST.
16	238219.12	1299427.99	150.16	SFNT, NAIL W/ "PACE" CONTROL TAG. AT AP IN BACK OF WEDGE CURB, N SIDE NE 38TH ST. 15' E OF CENTERLINE DRIVEWAY TO 9218 NE 38TH ST.
17	238203.01	1299715.67	170.60	SFNT, NAIL W/ "PACE" CONTROL TAG. IN ASPHALT, NE QUADRANT INTX 94TH AVE NE & NE 38TH ST. 3' N OF CENTERLINE OF 38TH ST EXTENDED. 11' S OF E BACK OF WEDGE CURB AT END OF 94TH AVE NE.
28	238504.33	1299684.11	161.38	SFNT, NAIL W/ "PACE" CONTROL TAG. 0.5' W OF W BACK OF WEDGE CURB ON 94TH AVE NE. IN ASPHALT. 13' N OF CENTERLINE OF S DRIVEWAY TO 3833 94TH AVE NE.
31	238841.22	1299691.07	151.33	SFMC, 1/4" BRASS PLUG W/ PUNCH SET IN CONCRETE. DOWN 0.7' IN CASE. INTX 94TH AVE NE & NE 40TH ST.
32	238844.88	1299932.30	153.66	SFNT, NAIL W/ "PACE" CONTROL TAG. 0.5' S OF N WEDGE CURB OF NE 40TH ST. 14' E OF CENTERLINE OF DRIVEWAY TO 4015 95TH AVE NE "BUCHANAN". DRIVEWAY IS ON S SIDE OF THIS PROPERTY.
33	239141.08	1299668.57	140.98	SFNT, NAIL W/ "PACE" CONTROL TAG. AT E WEDGE CURB 94TH AVE NE. 18' N OF CENTERLINE OF DRIVEWAY TO 4024 94TH AVE NE.
34	238827.48	1300151.30	143.36	SFMC, 1 1/2" BRASS DISC W/ PUNCH SET IN CONCRETE. DOWN 0.65' IN CASE. AT INTX 95TH AVE NE & NE 40TH ST.
35	239500.71	1299609.31	123.70	SFNT, NAIL W/ "PACE" CONTROL TAG. 0.5' E OF W WEDGE CURB 94TH AVE NE. 26' N OF CENTERLINE OF DRIVEWAY TO 4425 94TH AVE NE.
36	239768.50	1299600.79	110.37	SFNT, NAIL W/ "PACE" CONTROL TAG. AT E WEDGE CURB 94TH AVE NE. 15' S OF CENTERLINE OF DRIVEWAY TO 4412 94TH AVE NE.
37	240016.20	1299555.43	98.31	SFNT, NAIL W/ "PACE" CONTROL TAG. 0.7' E OF W WEDGE CURB 94TH AVE NE. 20' S OF CENTERLINE OF DRIVEWAY TO 4437 94TH AVE NE.
38	240239.25	1299618.79	87.70	SFNT, NAIL W/ "PACE" CONTROL TAG. 1' W OF E WEDGE CURB 94TH AVE NE AT APPROX PC OF CURVE. 7' SW OF MAILBOX POST W/ THREE BOXES (4441, 4467, 4468).
41	240352.10	1299605.80	82.26	SFNT, NAIL W/ "PACE" CONTROL TAG. 0.75' SW OF NE WEDGE CURB 94TH AVE NE -3/4". 15' SW OF "NO PARKING" SIGN.
42	240443.91	1299493.42	75.60	SFMC, INTX 94TH AVE NE & YARROW POINT RD.
44	240547.34	1299566.56	72.79	SFMC, PLUG W/ PUNCH SET IN CONC. DOWN 0.36' IN CASE. INTX YARROW POINT RD & NE 47TH ST. CITY OF BELLEVUE HORIZONTAL BENCHMARK: 0436.
100	240246.57	1299610.88	86.92	SFMC, 1/4" BRASS PLUG W/ PUNCH SET IN CONCRETE. DOWN 0.55' IN CASE. CENTERLINE 94TH AVE NE AT PT SE OF YARROW POINT RD.
101	240045.70	1299560.14	96.44	SFMC, 1/4" BRASS PLUG W/ PUNCH SET IN CONCRETE. DOWN 0.6' IN CASE. 94TH AVE NE PI MON. 15' N OF CENTERLINE DRIVEWAY TO 4437 94TH AVE NE.
102	238836.58	1299465.99	138.32	SSN=SET NAIL, MAG NAIL AT S WEDGE CURB OF NE 40TH ST. 12' E OF CENTERLINE OF E DRIVEWAY TO 9229 94TH AVE NE.
103	238186.02	1299698.25	170.42	SFMC, 1/2" INSIDE DIAMETER IRON PIPE COMING FROM SIDE OF MONUMENT. DOWN 0.5' IN CASE. SHOT CENTER OF PIPE. SW QUADRANT 94TH AVE NE & NE 38TH ST. IN WEDGE CURB.
104	238843.44	1300157.61	143.30	SSN, MAG NAIL AT E WEDGE CURB FLOW LINE OF 95TH AVE NE AT NE QUADRANT NE 95TH AVE & 40TH ST NE. 15' S OF CENTERLINE WALKWAY TO 4000 95TH AVE NE.

STATION	CHORD BEARING	CHORD DISTANCE	CHORD CURVE	CHORD POINT	CHORD CURVE	CHORD BEARING	CHORD DISTANCE	CHORD CURVE	CHORD POINT	CHORD CURVE	CHORD BEARING	CHORD DISTANCE	CHORD CURVE	CHORD POINT	CHORD CURVE	CHORD BEARING	CHORD DISTANCE	CHORD CURVE	CHORD POINT	
201+00																				
202+00																				
203+00																				
204+00																				
205+00																				
206+00																				

**DISCLAIMER:**  
SOME TOPOGRAPHIC DATA SHOWN HEREON WAS PERFORMED BY PACE (SEE NOTES, THIS SHEET). ADDITIONAL SURVEY WAS PERFORMED BY GRAY AND OSBORNE ON MAY 16, 2023 UTILIZING PACE CONTROL.

**HORIZONTAL DATUM**  
HORIZONTAL DATUM: NAD 83/11, WASHINGTON COORDINATE SYSTEM NORTH ZONE. BASED ON TIES TO CITY OF BELLEVUE SURVEY CONTROL POINTS 34 & 362 (POINTS 1 & 2 IN THIS PLAN SET)

**SURVEY NOTES**  
ALL DISTANCES SHOWN ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.  
THE LOCATION AND DESCRIPTION OF ALL SURVEY MARKERS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS TAKEN BY PACE ENGINEERS IN JANUARY, 2021, UNLESS OTHERWISE INDICATED.

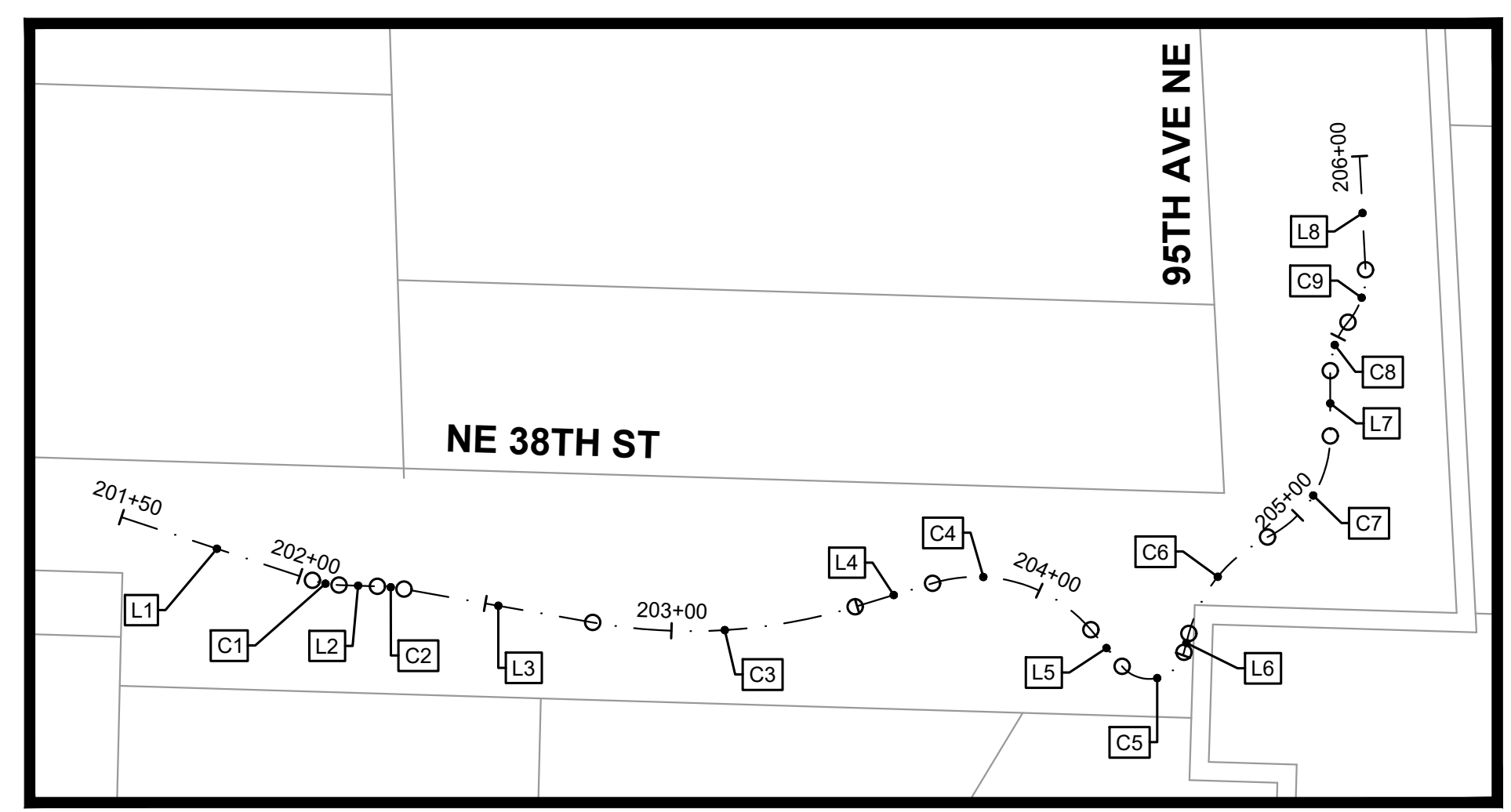
WORK PERFORMED IN CONJUNCTION WITH THIS SURVEY UTILIZED THE FOLLOWING EQUIPMENT AND PROCEDURES: (A) 1" TRIMBLE S7 SERIES ELECTRONIC TOTAL STATION, MAINTAINED TO THE MANUFACTURER'S SPECIFICATIONS PER W.A.C. 332-130-100. (B) FIELD TRAVERSE, EXCEEDING REQUIREMENTS SET FORTH IN W.A.C. 332-130-090. (C) LEASE SQUARE ADJUSTMENT USING StarNet VERSION 9.0 EXCEEDING REQUIREMENTS PER W.A.C. 332-130-080.

**VERTICAL DATUM**  
VERTICAL DATUM: NAVD 88 BASED ON TIES TO CITY OF BELLEVUE SURVEY CONTROL POINTS 34 & 362 (POINTS 1 & 2 IN THIS PLAN SET)

RIGHT OF WAY MARGINS AND CENTERLINES SHOWN HEREON AREA BASED UPON THE FOUND CENTERLINE MONUMENTS.  
PARCEL LOT LINES SHOWN HEREON ARE PER KING COUNTY GIS AND SHOULD BE ASSUMED APPROXIMATE

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ALL EASEMENTS.

THIS TOPOGRAPHIC SURVEY DRAWING ACCURATELY PRESENTS SURFACE FEATURES LOCATED DURING THE COURSE OF THIS SURVEY. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED SOLELY UPON INFORMATION PROVIDED BY OTHERS AND PACE ENGINEERS, INC. DOES NOT ACCEPT RESPONSIBILITY OR ASSUME LIABILITY FOR THEIR ACCURACY OR COMPLETENESS. CONTRACTOR/ENGINEERS SHALL VERIFY EXACT SIZE AND LOCATION PRIOR TO CONSTRUCTION.  
CALL FOR LOCATE: UTILITY LOCATION SERVICE: 811

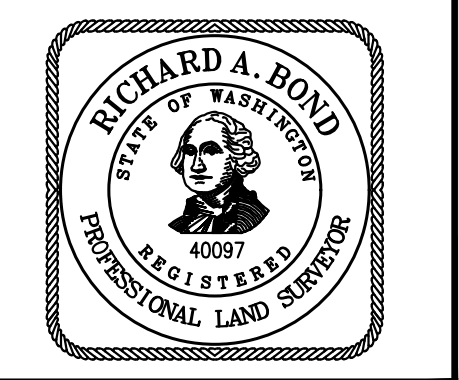
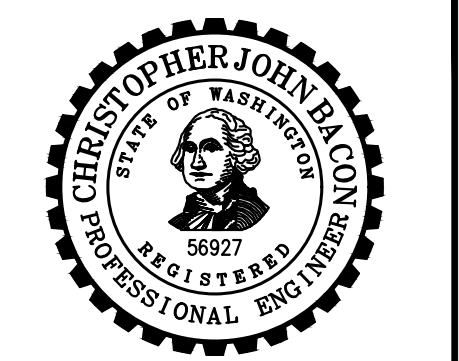
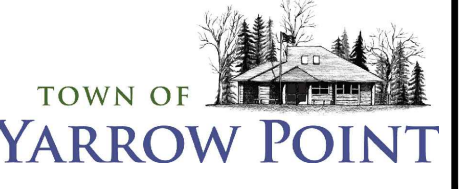


**SALLY'S ALLEY CONSTRUCTION CENTERLINE DETAIL**  
SCALE: 1" = 40'

**RIGHT-OF-WAY DISCLAIMER**  
THE RIGHT-OF-WAY AND/OR PROPERTY LINES SHOWN HEREON ARE BASED ON AVAILABLE INFORMATION, NOT ON A SURVEYED LOCATION AND ARE ONLY APPROXIMATE.

**APPROVAL FOR CONSTRUCTION**  
BY: TOWN OF YARROW POINT  
DATE: JANUARY 2025  
APPROVAL EXPIRES: JANUARY 2026

**Gray & Osborne, Inc.**  
CONSULTING ENGINEERS  
3710 168TH STREET NORTHEAST,  
BUILDING B, SUITE 210  
ARLINGTON, WA 98223  
(360) 454-5490



**TOWN OF YARROW POINT**

**SALLY'S ALLEY PHASE 2**

No.	DATE	REVISION
ISSUED FOR:	BID PLAN SET	
ISSUE DATE:	JAN 2025	
APPROVED BY:	KWB	
CHECKED BY:	CJB	
DRAWN BY:	MAN	
G & O JOB NO.:	23445.02	
FILE:	SURVEY CONTROL-3.DWG	

0 1" 2"  
TWO INCHES AT FULL SCALE.  
IF NOT, SCALE ACCORDINGLY

**CIVIL**

**SURVEY CONTROL, KEY MAP AND ALIGNMENT TABLES**

DRAWING: **2** OF: **9**

**GENERAL NOTES  
TOWN OF YARROW POINT**

- THIS DEVELOPMENT PROJECT SHALL CONFORM TO THE TOWN OF YARROW POINT'S REQUIREMENTS AND BE IN ACCORDANCE WITH THE APPROVED PLANS. ANY CHANGES FROM THE APPROVED PLAN WILL REQUIRE APPROVAL FROM THE OWNER, ENGINEER, BUILDING OFFICIAL, TOWN ENGINEER, AND TOWN PLANNER AS APPLICABLE.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE "WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION" (LATEST EDITION), EXCEPT WHERE SUPPLEMENTED OR MODIFIED BY THE TOWN. COPIES OF THE ABOVE DOCUMENTS SHALL BE AVAILABLE AT THE JOB SITE DURING CONSTRUCTION.
- A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF ALL CONSTRUCTION. CONTACT THE TOWN ENGINEER OR THE TOWN BUILDING OFFICIAL TO SCHEDULE A MEETING.
- LOCATIONS SHOWN FOR EXISTING UTILITIES ARE APPROXIMATE. THE CONTRACTOR IS CAUTIONED THAT OVERHEAD UTILITY LINES MAY NOT BE SHOWN ON THE DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE TRUE ELEVATIONS AND LOCATIONS OF ALL UNDERGROUND UTILITIES AND THE EXTENT OF ANY HAZARDS CREATED BY OVERHEAD UTILITY LINES. IDENTIFICATION, LOCATION MARKING, AND RESPONSIBILITY FOR UNDERGROUND FACILITIES OR UTILITIES IS GOVERNED BY PROVISION OF CHAPTER 19.122 REVISED CODE OF WASHINGTON (RCW). PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL CALL ONECALL (1-800-424-5555) FOR UTILITY LOCATIONS (WATER, SANITARY SEWER, STORM SEWER, GAS, POWER, TELEPHONE, CABLE TELEVISION, AND INTERNET).
- AS-BUILT DRAWINGS ARE REQUIRED PRIOR TO PROJECT ACCEPTANCE.
- THE CONTRACTOR SHALL HAVE A COPY OF THESE PLANS AND THE CONTRACT SPECIFICATIONS ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- PER TOWN OF YARROW POINT MUNICIPAL CODE SECTION 10.12, CONTRACTOR'S VEHICLES, INCLUDING TRUCK AND TRAILER COMBINATIONS, SHALL NOT HAVE AN OVERALL LENGTH IN EXCESS OF 40 FEET.
- ALL COSTS ASSOCIATED WITH RECORD DRAWINGS AND SPCC PLAN SHALL BE INCLUDED IN THE MOBILIZATION, CLEANUP, AND DEMOBILIZATION BID ITEM.

**STORM DRAINAGE NOTES  
TOWN OF YARROW POINT  
(MODIFIED; NOT ALL NOTES ARE SHOWN)**

- BEFORE ANY CONSTRUCTION MAY OCCUR, THE CONTRACTOR SHALL HAVE PLANS WHICH HAVE BEEN SIGNED AND APPROVED BY THE TOWN OF YARROW POINT, OBTAINED ALL TOWN, COUNTY, STATE, FEDERAL, AND OTHER REQUIRED PERMITS, AND HAVE POSTED ALL REQUIRED BONDS. ~~CONTRACTOR SHALL OBTAIN PERMITS FROM THE TOWN OF YARROW POINT (425) 651-6004 FOR CURRENT PLAN SUBMITTAL PROCEDURES.~~
- ANY DEVIATION FROM THE APPROVED PLANS WILL REQUIRE WRITTEN APPROVAL. ALL CHANGES SHALL BE SUBMITTED TO THE TOWN.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SIMILARLY STABILIZED TO THE SATISFACTION OF THE TOWN OF YARROW POINT FOR THE PREVENTION OF ON-SITE EROSION AFTER THE COMPLETION OF CONSTRUCTION.
- ALL CATCH BASINS SHALL BE TYPE I UNLESS OTHERWISE NOTED. CATCH BASINS WITH A DEPTH OF OVER FIVE FEET (5') TO THE PIPE INVERT SHALL BE A TYPE II CATCH BASIN. TYPE II CATCH BASINS EXCEEDING FIVE FEET (5') IN DEPTH SHALL HAVE A STANDARD LADDER INSTALLED.
- CONSTRUCTION OF DEWATERING (GROUNDWATER) SYSTEMS SHALL BE IN ACCORDANCE WITH THE APWA STANDARD SPECIFICATIONS.
- ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY PRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTION SHALL BE 95 PERCENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, CONFINED SPACE PROTECTION, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACT. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE A TRAFFIC CONTROL PLAN APPROVED BY THE TOWN OF YARROW POINT. ALL SECTIONS OF THE WSDOT STANDARD SPECIFICATIONS, TRAFFIC CONTROL SECTION, AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL APPLY.
- APPROXIMATE LOCATIONS OF EXISTING UTILITIES HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING UTILITY LOCATIONS WHETHER OR NOT THESE UTILITIES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXERCISE ALL CARE TO AVOID DAMAGE TO ANY UTILITY. IF CONFLICTS WITH EXISTING UTILITIES ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER OR THE TOWN BUILDING OFFICIAL IMMEDIATELY AND ANY CHANGES REQUIRED SHALL BE APPROVED BY THE APPROPRIATE TOWN STAFF PRIOR TO COMMENCEMENT OF RELATED CONSTRUCTION ON THE PROJECT.
- ALL INLET, MANHOLE, AND CATCH BASIN FRAMES AND GRATES SHALL NOT BE ADJUSTED TO GRADE UNTIL IMMEDIATELY PRIOR TO FINAL PAVING. ALL CATCH BASIN GRATES SHALL BE SET 0.10' BELOW PAVEMENT LEVEL.
- GROUT ALL SEAMS AND OPENINGS IN ALL INLETS, CATCH BASINS, AND MANHOLES.

**TEMPORARY EROSION/SEDIMENTATION NOTES  
TOWN OF YARROW POINT  
(MODIFIED; NOT ALL NOTES ARE SHOWN)**

- THE APPROVED CONSTRUCTION SEQUENCE SHALL BE AS FOLLOWS:
  - CONDUCT PRE-CONSTRUCTION MEETING.
  - FLAG OR FENCE CLEARING LIMITS.
  - ~~POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.~~
  - INSTALL CATCH BASIN PROTECTION IF REQUIRED.
  - ~~GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).~~
  - INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.). IF REQUIRED.
  - ~~CONSTRUCT SEDIMENT POND(S) AND TRAPS.~~
  - ~~GRADE AND STABILIZE CONSTRUCTION ROADS.~~
  - ~~CONSTRUCT SURFACE WATER CONTROL (INTERCEPTOR DIKE, PIPE SLOPE DRAIN, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.~~
  - MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH TOWN OF YARROW POINT STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
  - RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE TOWN TESC MINIMUM REQUIREMENTS.
  - COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.
  - ~~STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.~~
  - ~~SEED OR COB ANY AREAS TO REMAIN UNCOVERED FOR MORE THAN 90 DAYS.~~
  - UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.
- THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY, MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
- THE ESC FACILITIES SHALL BE INSPECTED BY THE PERMITTEE/CONTRACTOR DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING RAINFALL EVENTS, AT THE END OF EVERY RAINFALL, AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMPORARY SILTATION PONDS AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.
- ALL DENUDED SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES:
  - MAY 1 TO SEPTEMBER 30 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING.
  - OCTOBER 1 TO APRIL 30 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING
  - STABILIZE SOILS AT THE END OF THE WORKDAY PRIOR TO A WEEKEND, HOLIDAY, OR PREDICTED RAIN EVENT.
- AT NO TIME SHALL MORE THAN 1' OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE TOWN ENGINEER OR THE TOWN BUILDING OFFICIAL.
- OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT.
- ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE TOWN ENGINEER OR TOWN BUILDING OFFICIAL SHALL BE PROTECTED WITH A "FILTER FABRIC SOCK" OR EQUIVALENT.
- ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.
- DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.
- PRIOR TO OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK AFTER OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE TOWN ENGINEER. THE TOWN ENGINEER CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.
- A WATER TRUCK SHALL BE ON SITE AT ALL TIMES TO PROVIDE DUST CONTROL. THIS WORK SHALL BE INCIDENTAL TO CONSTRUCTION, SEE SECTION 2-07.

m:\yarrow point\23445.00 town wide storm and ugc\03 construction\plan revisions\23445.02 sallys alley phase 2\General\GEN NOTES.dwg, 1/23/2025 11:39 AM, CHRIS BACON

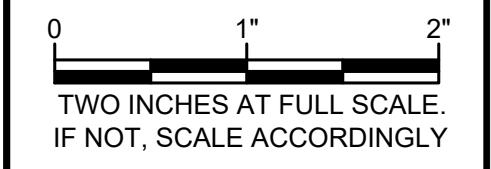
**Gray & Osborne, Inc.**  
CONSULTING ENGINEERS  
3710 168TH STREET NORTHEAST,  
BUILDING B, SUITE 210  
ARLINGTON, WA 98223  
(360) 454-5490



**TOWN OF  
YARROW POINT**  
  
**SALLY'S ALLEY  
PHASE 2**

No.	DATE	REVISION

ISSUED FOR:	BID PLAN SET
ISSUE DATE:	JAN 2025
APPROVED BY:	KWB
CHECKED BY:	CJB
DRAWN BY:	MAN
G & O JOB NO.:	23445.02
FILE:	GEN NOTES.DWG



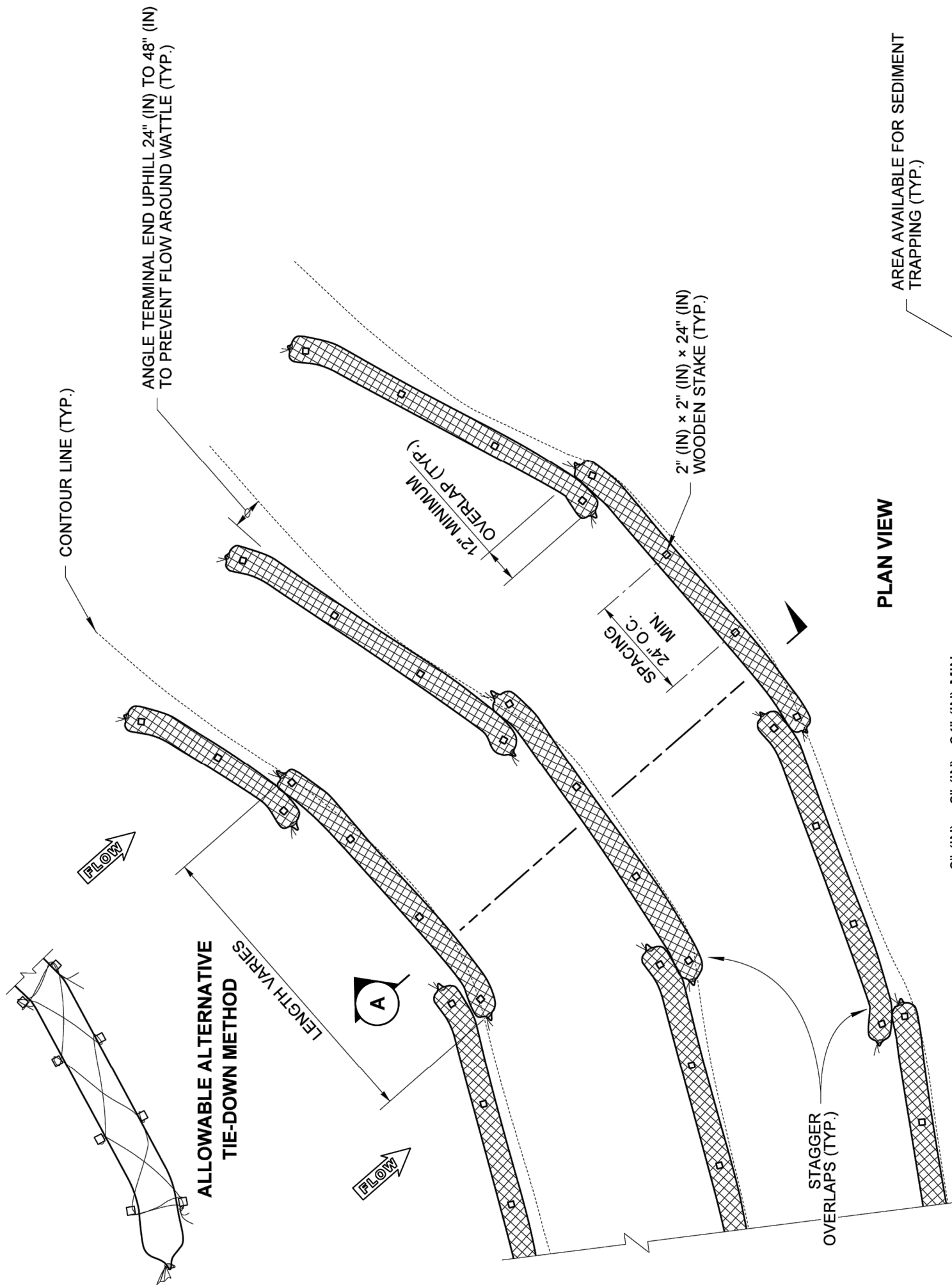
**BURIED UTILITIES IN AREA  
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1-800-424-5555**  
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**APPROVAL FOR CONSTRUCTION**  
BY: TOWN OF YARROW POINT  
DATE: JANUARY 2025  
APPROVAL EXPIRES: JANUARY 2026

**GENERAL  
CONSTRUCTION  
NOTES**

DRAWING: **3** OF: **9**



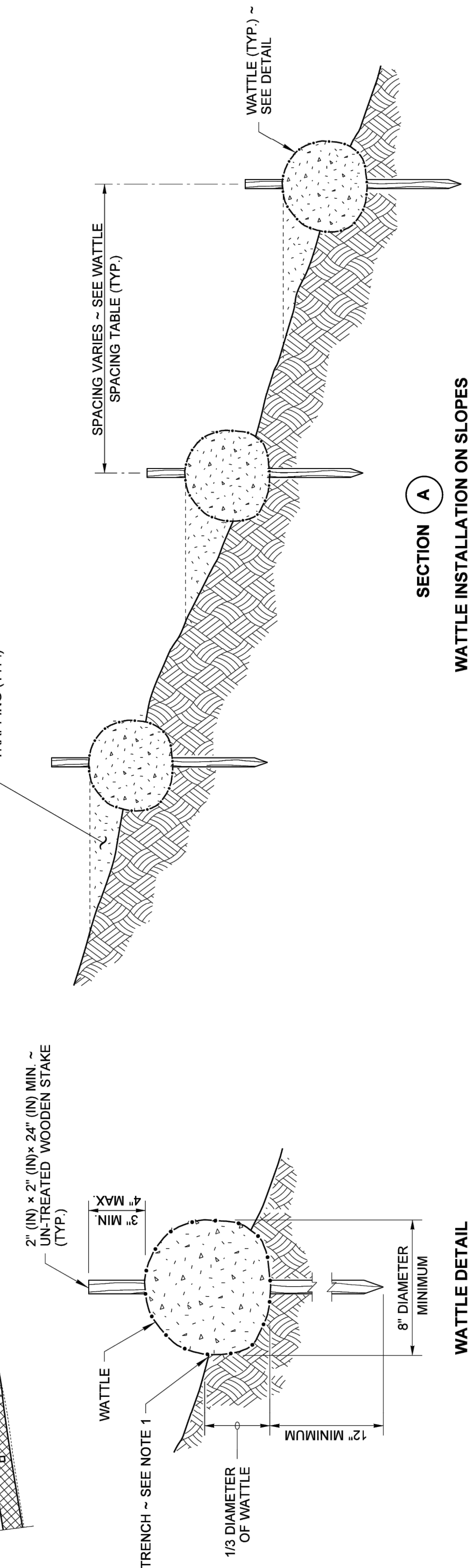
DRAWN BY: FERN LIDDELL

**NOTES**

1. Wattles shall be in accordance with **Standard Specification, Section 9-14.5(5)**. Install Wattles along contours. Installation shall be in accordance with **Standard Specification, Section 8-01.3(10)**.
2. Securely knot each end of Wattle. Overlap adjacent Wattle ends 12" (in) behind one another and securely tie together.
3. Compact excavated soil and trenches to prevent undercutting. Additional staking may be necessary to prevent undercutting.
4. Install Wattle perpendicular to flow along contours.
5. Wattles shall be inspected regularly, and immediately after a rainfall produces runoff, to ensure they remain thoroughly entrenched and in contact with the soil.
6. Perform maintenance in accordance with **Standard Specification, Section 8-01.3(15)**.
7. Refer to **Standard Specification, Section 8-01.3(16)** for removal.

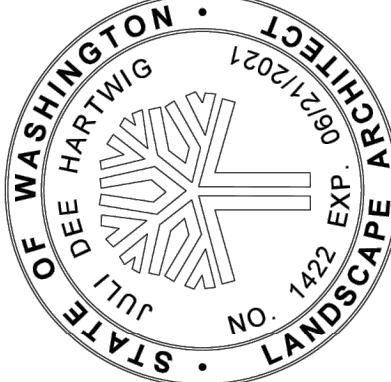
WATTLE SPACING TABLE		
TEMPORARY	PERMANENT	
8" - 10" OR 10" - 12" DIAM.	10" - 12" DIAM.	
SLOPE	MAX. SPACING	MAX. SPACING
1H : 1V	5' - 0"	-
2H : 1V	10' - 0"	5' - 0"
3H : 1V	15' - 0"	10' - 0"
4H : 1V	20' - 0"	15' - 0"

**PLAN VIEW**



**SECTION A**

WATTLE INSTALLATION ON SLOPES



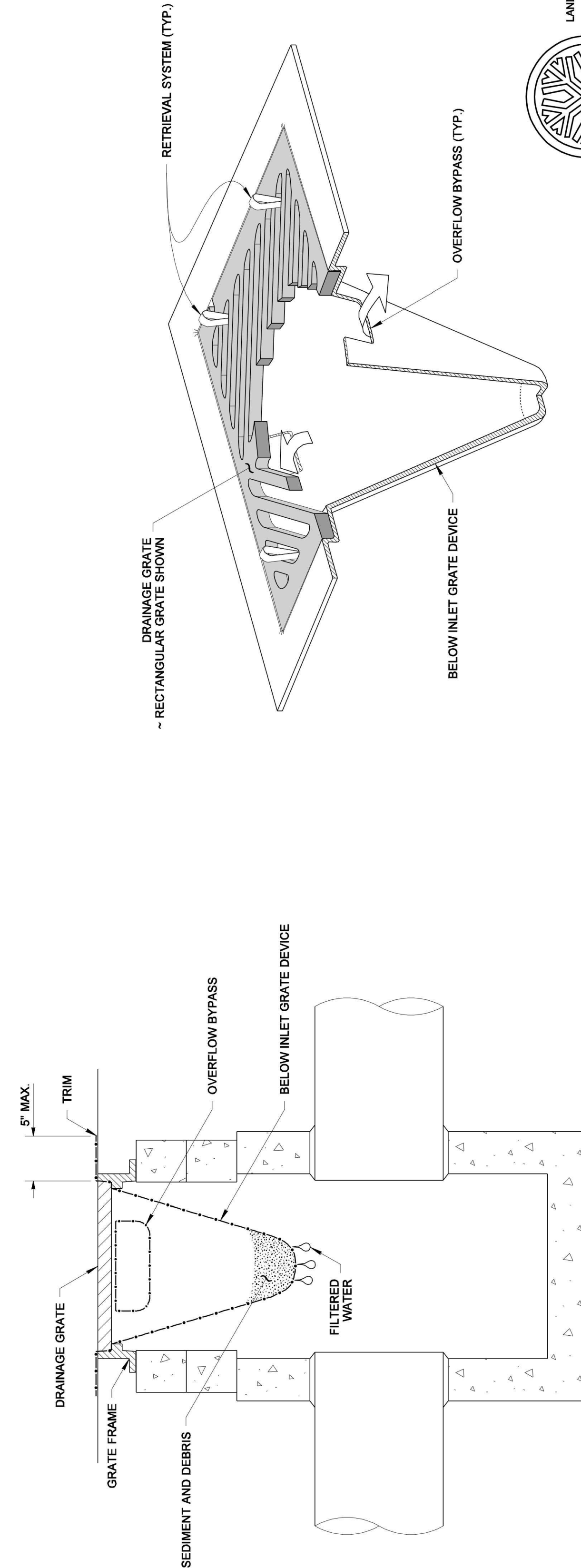
Mark, Steve  
Jan 4 2019 8:05 AM  
**WATTLE INSTALLATION ON SLOPE**  
**STANDARD PLAN I-30.30-02**

SHEET 1 OF 1 SHEET  
APPROVED FOR PUBLICATION  
Mark, Steve  
Jan 12, 2019 7:41 AM  
STATE DESIGN ENGINEER  
Washington State Department of Transportation

**NOTES**

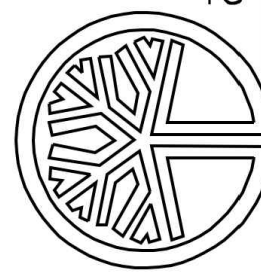
1. Size the Below Inlet Grate Device (BIGD) for the storm water structure it will service.
2. The BIGD shall have a built-in high-flow relief system (overflow bypass).
3. The retrieval system must allow removal of the BIGD without spilling the collected material.
4. Perform maintenance in accordance with **Standard Specification 8-01.3(15)**.

DRAWN BY: LISA CYFORD



**ISOMETRIC VIEW**

**SECTION VIEW**  
NOT TO SCALE



STATE OF WASHINGTON  
REGISTERED  
LANDSCAPE ARCHITECT  
MARK W. MALURER  
CERTIFICATE NO. 000566

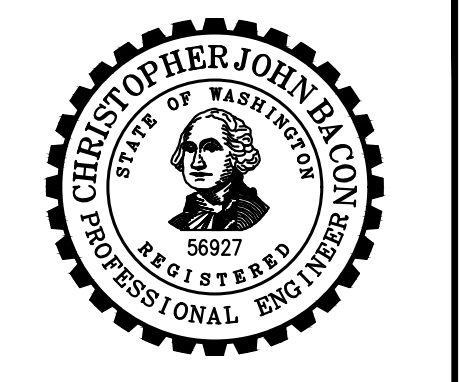
NOTE: THIS PLAN IS NOT A LEGAL ENGINEERING DOCUMENT. IT IS FOR INFORMATION ONLY. APPROVED FOR PUBLICATION, SHOWN ON FILE AT THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION. A COPY MAY BE OBTAINED UPON REQUEST.

**STORM DRAIN INLET PROTECTION**  
**STANDARD PLAN I-40.20-00**  
SHEET 1 OF 1 SHEET  
APPROVED FOR PUBLICATION  
Pasco Bakotic III  
STATE DESIGN ENGINEER  
Washington State Department of Transportation

**TEMPORARY WATER POLLUTION/ EROSION CONTROL NOTES:**

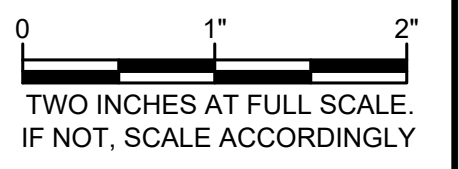
1. CONTRACTOR SHALL SUBMIT A TEMPORARY WATER POLLUTION/EROSION CONTROL PLAN (TESC PLAN) PER THE CONTRACT PROVISIONS. THE TESC PLANS SHALL INCLUDE TURBIDITY TEST, SEE THE SPECIFICATIONS.
2. THE CONTRACTOR SHALL REPORT ALL SPILLS OR DISCHARGE OF POLLUTANTS WITHIN 24 HOURS TO THE CONTRACTING AGENCY.
3. ALL LIMITS OF CLEARING AND AREAS OF VEGETATION PRESERVATION SHALL BE OBSERVED DURING CONSTRUCTION.
4. ALL REQUIRED SEDIMENTATION/EROSION CONTROL FACILITIES SHALL BE IN OPERATION PRIOR TO LAND CLEARING AND/OR OTHER CONSTRUCTION ACTIVITIES TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE EXISTING DRAINAGE SYSTEM. ALL EROSION AND SEDIMENT FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED. THE IMPLEMENTATION, MAINTENANCE, REPLACEMENT AND ADDITIONS TO EROSION/SEDIMENTATION CONTROL SYSTEMS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE EROSION AND SEDIMENTATION CONTROL SYSTEMS DEPICTED ON THIS DRAWING ARE INTENDED TO BE MINIMUM REQUIREMENTS TO MEET ANTICIPATED SITE CONDITIONS. AS CONSTRUCTION PROGRESSES AND AS UNEXPECTED OR SEASONAL CONDITIONS DICTATE, THE CONTRACTOR SHOULD ANTICIPATE THAT MORE EROSION AND SEDIMENTATION CONTROL FACILITIES WILL BE NECESSARY TO ENSURE COMPLETE SILTATION CONTROL ON THE PROPOSED SITE. DURING THE COURSE OF CONSTRUCTION, IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES, OVER AND ABOVE THE MINIMUM REQUIREMENTS, AS MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES AND THE WATER QUALITY OF THE RECEIVING DRAINAGE SYSTEM.
6. AT NO TIME SHALL MORE THAN SIX INCHES OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND DISPOSING OF THE SEDIMENT. ALL STORM DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS SHALL BE CLEANED AFTER COMPLETION OF THE PROJECT.
7. THE CONTRACTOR SHALL REMOVE AND WASTEHAUL MATERIAL DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO THE RIGHT-OF-WAY OR INTO THE EXISTING STORM DRAINAGE SYSTEM. DEBRIS SHALL NOT BE WASHED INTO THE STORM DRAINAGE SYSTEM.
8. TEMPORARY EROSION CONTROL FACILITIES SHALL BE INSPECTED WEEKLY AND MAINTAINED WITHIN 24 HOURS FOLLOWING A STORM EVENT. SEDIMENT SHALL BE REMOVED TO INSURE THE FACILITIES WILL FUNCTION PROPERLY. THE FACILITIES SHALL BE SATISFACTORILY MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.
9. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORM WATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
10. NO DISTURBED SOIL SHALL REMAIN UNSTABILIZED FOR MORE THAN TWO CALENDAR DAYS.
11. INSTALL STORM DRAIN INLET PROTECTION IN THE NEW DRAINAGE STRUCTURES AS THEY ARE CONSTRUCTED.

**APPROVAL FOR CONSTRUCTION**  
BY: TOWN OF YARROW POINT  
DATE: JANUARY 2025  
APPROVAL EXPIRES: JANUARY 2026



**TOWN OF YARROW POINT**  
**SALLY'S ALLEY PHASE 2**

No.	DATE	REVISION
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APPROVED BY: KWB		
CHECKED BY: CJB		
DRAWN BY: MAN		
G & O JOB NO.: 23445.02		
FILE: STORM-DET.DWG		



**CIVIL**  
**TEMPORARY EROSION CONTROL DETAILS**

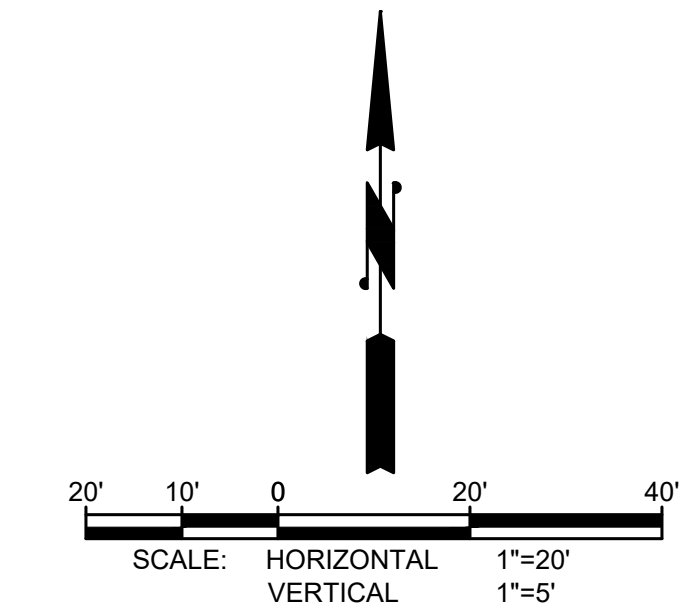
DRAWING: 4 OF: 9

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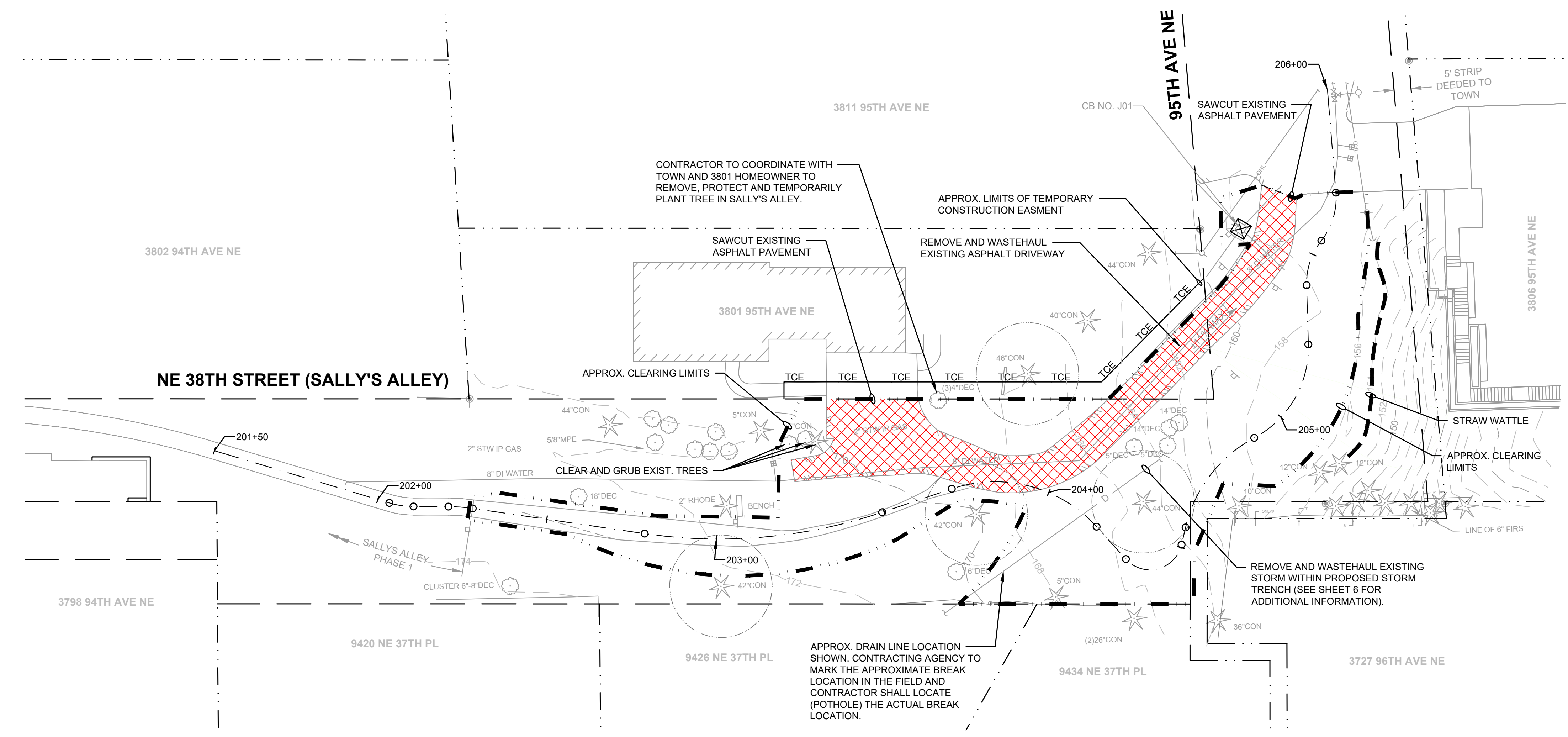


TOWN OF  
**YARROW POINT**

**SALLY'S ALLEY  
PHASE 2**



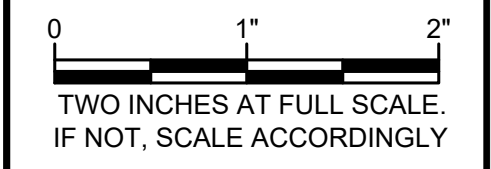
- ☒ STORM DRAIN INLET PROTECTION PER TEMPORARY WATER POLLUTION/EROSION CONTROL NOTES, SEE SHEET 4
- APPROX. TREE PROTECTION AREA (±15' RADIUS AROUND TREE). CONTRACTOR SHALL NOTIFY THE CONTRACTING AGENCY PRIOR TO CUTTING ANY ROOTS 2" DIAMETER OR GREATER.



No.	DATE	REVISION

ISSUED FOR:	BID PLAN SET
ISSUE DATE:	JAN 2025
APPROVED BY:	KWB
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FILE:	STORM P&P.DWG



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1-800-424-5555**  
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**APPROVAL FOR CONSTRUCTION**  
BY: TOWN OF YARROW POINT  
DATE: JANUARY 2025  
APPROVAL EXPIRES: JANUARY 2026

**TESC AND DEMO PLAN**

DRAWING: **5** OF: **9**

m:\yarrow point\23445.00 town wide storm and ugc03 construction\plan revisions\23445.02 sallys alley phase 2\Civil\STORM P&P.dwg, 1/23/2025 11:40 AM, CHRIS BACON

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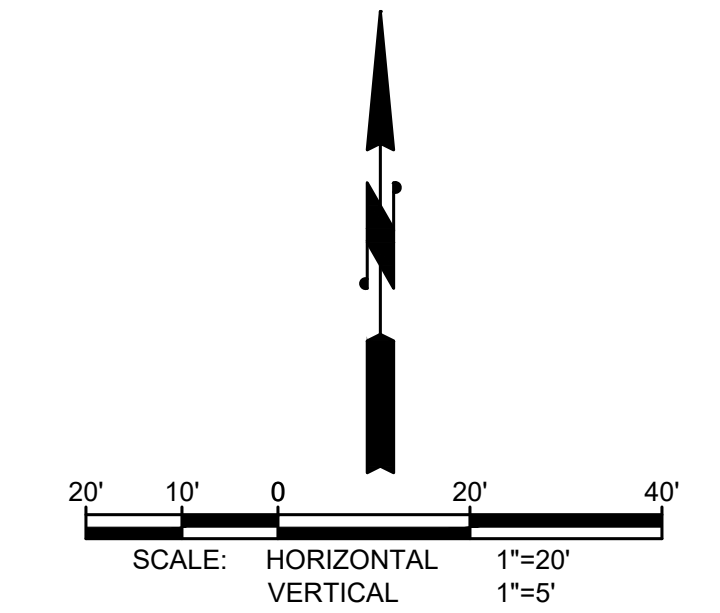
G & O JOB NO.: 23445.02  
FILE: STORM P&P.DWG

0 1" 2"  
TWO INCHES AT FULL SCALE.  
IF NOT, SCALE ACCORDINGLY

**CIVIL**

**TRAIL AND DRIVEWAY  
RESTORATION PLAN &  
PROFILE**

DRAWING: **6** OF: **9**

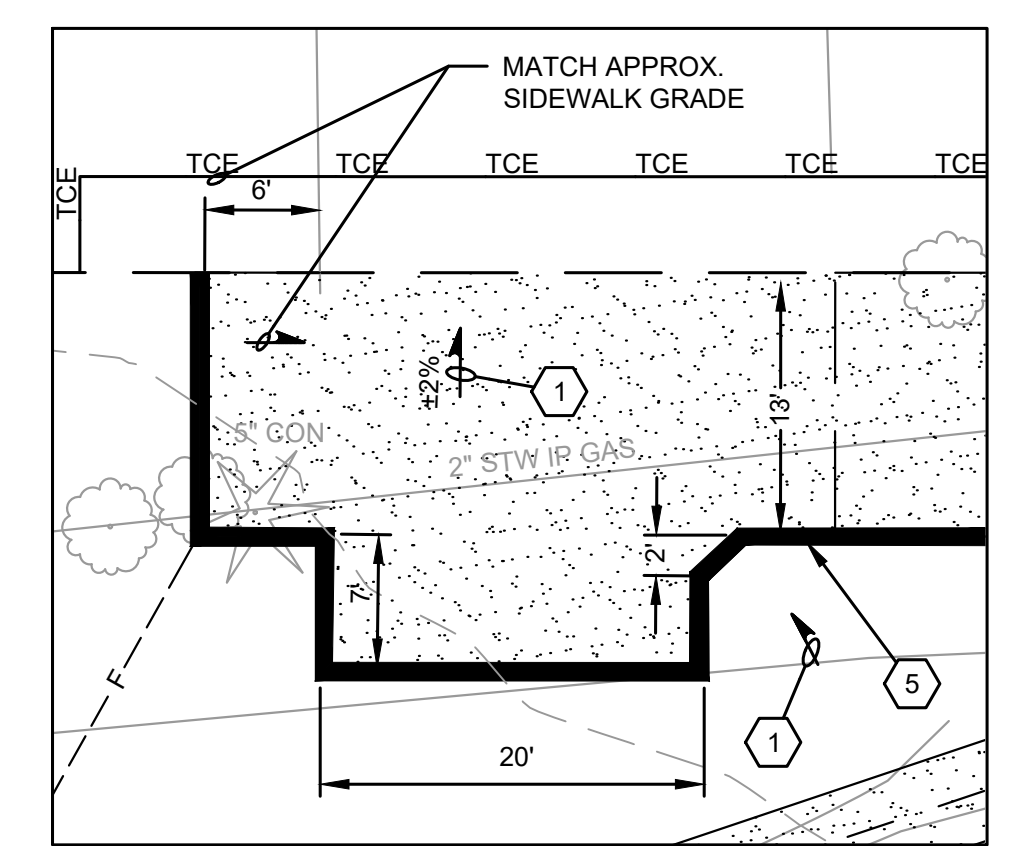


**GENERAL NOTES**

- RESTORE ALL DISTURBED SURFACES WITH SEEDING, FERTILIZING AND MULCHING OVER 4" SUITABLE NATIVE MATERIAL OR TOPSOIL.
- CONTRACTOR SHALL MAINTAIN PEDESTRIAN ACCESS 3801 95TH AVE NE AND CONSTRUCTION VEHICLE ACCESS TO 3806 95TH AVENUE NE AT ALL TIMES.
- CONTRACTOR SHALL NOT INSTALL STEEL EDGING WHERE THE TRAIL IS BORDERED BY TIMBER EDGING.
- PROTECT ALL TREES EXCEPT AS NOTED. CONTRACTOR SHALL NOTIFY CONTRACTING AGENCY PRIOR TO CUTTING ROOTS GREATER THAN 2" IN DIAMETER.

**CONSTRUCTION NOTES**

- MAINTAIN CONSTANT GRADE.
- INSTALL ±10' x 1' x 1' (L x W x D) CLASS 4000 CONCRETE CURB ACROSS THE FULL WIDTH OF THE DRIVEWAY AT APPROXIMATE POINTS OF CURVATURE AND TANGENCY. TRUEGRID PRO PLUS SHALL BE INSTALLED FLUSH UP TO CURB (BOTH SIDES) AND TOP OF CURB SHALL BE SET 1/2" BELOW FINISH GRADE.
- RELOCATE EXIST. SIGN. FURNISH AND INSTALL NEW POST, FOUNDATION AND HARDWARE IN-KIND. WASTEHAUL EXISTING POST AND FOUNDATION.
- INSTALL ROCKERY PER DETAIL, SHEET 8.
- INSTALL SINGLE TIMBER EDGING AT LIMITS OF ASPHALT. SEE DETAIL, SHEET 8.
- INSTALL STACKED TIMBER EDGING PER DETAIL, SHEET 8. (APPROX. HEIGHT NOTED.)



**DRIVEWAY DETAIL**  
SCALE 1" = 10'

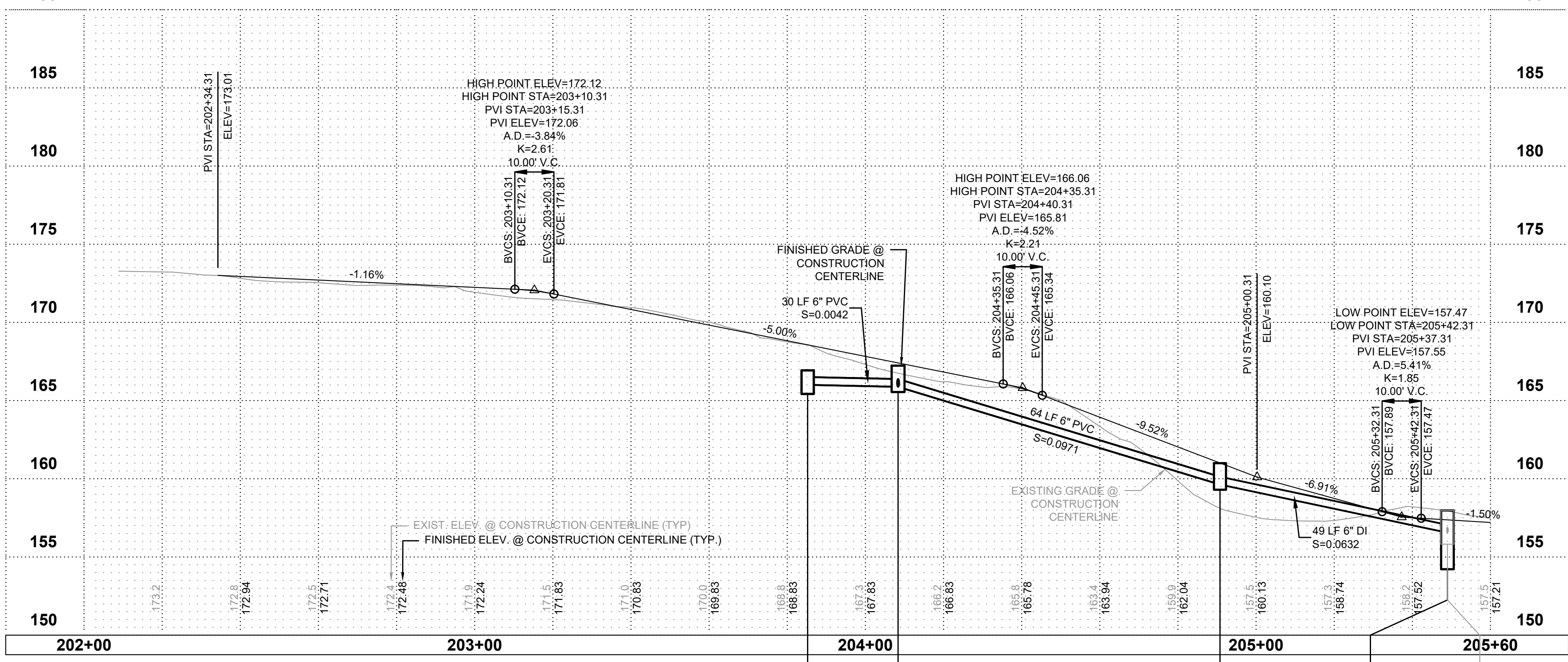
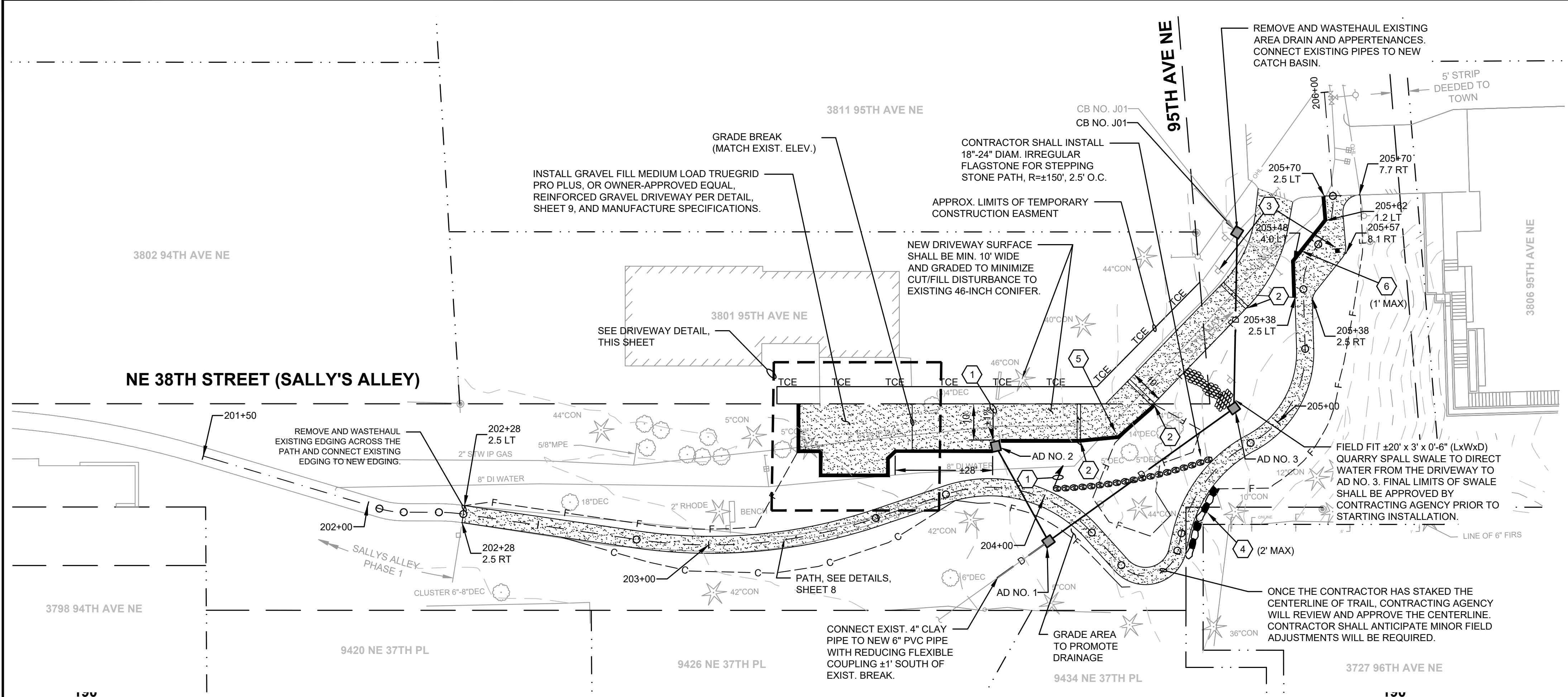
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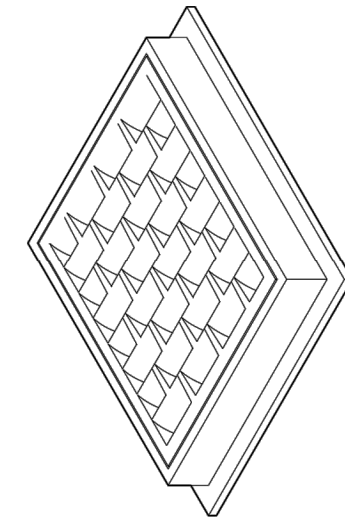
**APPROVAL FOR CONSTRUCTION**

BY: TOWN OF YARROW POINT  
DATE: JANUARY 2025  
APPROVAL EXPIRES: JANUARY 2026

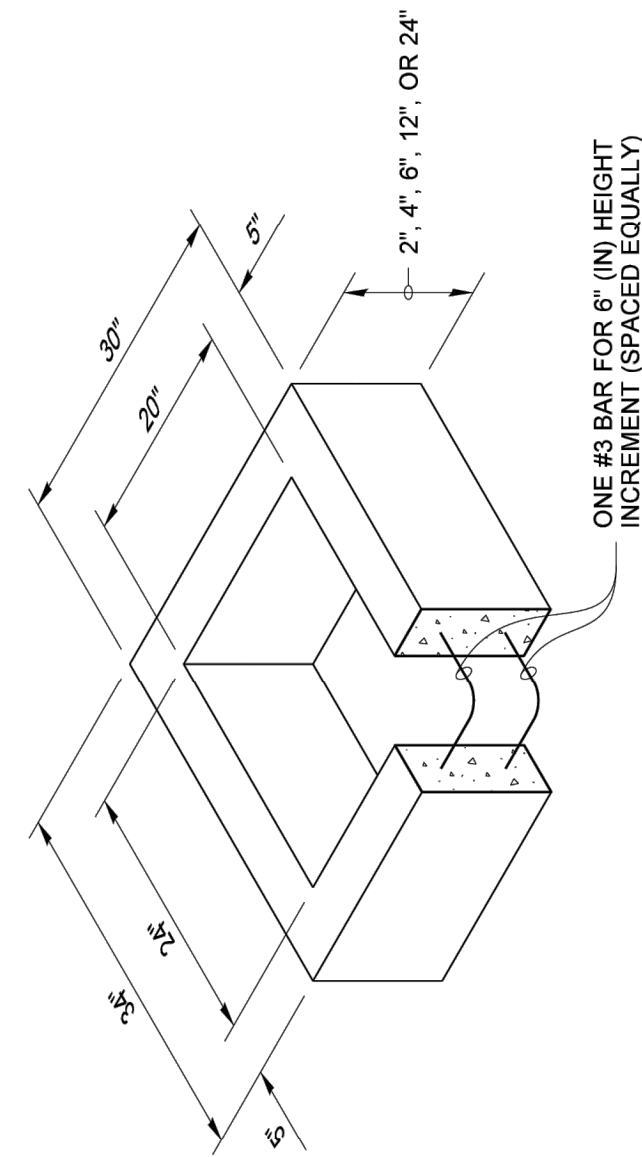


- AREA DRAIN, AD NO. 2  
STA. 203+85.3, 11.9' LT  
RIE=166.94  
IE=166.00 6" PVC SE
- AREA DRAIN, AD NO. 1  
STA. 204+08.4, 10.3' RT  
RIE=167.24  
IE=165.88 6" PVC SW  
IE=165.88 6" PVC NW  
IE=165.88 6" PVC NE
- AREA DRAIN, AD NO. 3  
STA. 50+88.2, 462.7' RT  
RIE=161.00  
IE=156.63 6" PVC SW  
IE=156.63 6" DIN
- CB TYPE 1, CB NO. J01  
STA. 51+38.2, 465.9' RT  
RIE=157.97  
IE=156.55 6" DI S  
IE=156.55 6" DI SW  
IE=156.55 4" FLEX SE  
IE=156.55 4" CONC NE  
IE=156.55 4" PVC NW
- EX. AREA DRAIN, CB NO. J01  
STA. 205+49.0, 22.3' LT  
RIE=157.97  
IE=156.55 6" PREP SW  
IE=156.55 4" PREP SW  
IE=156.55 4" CONC NE  
IE=156.55 4" PVC NW

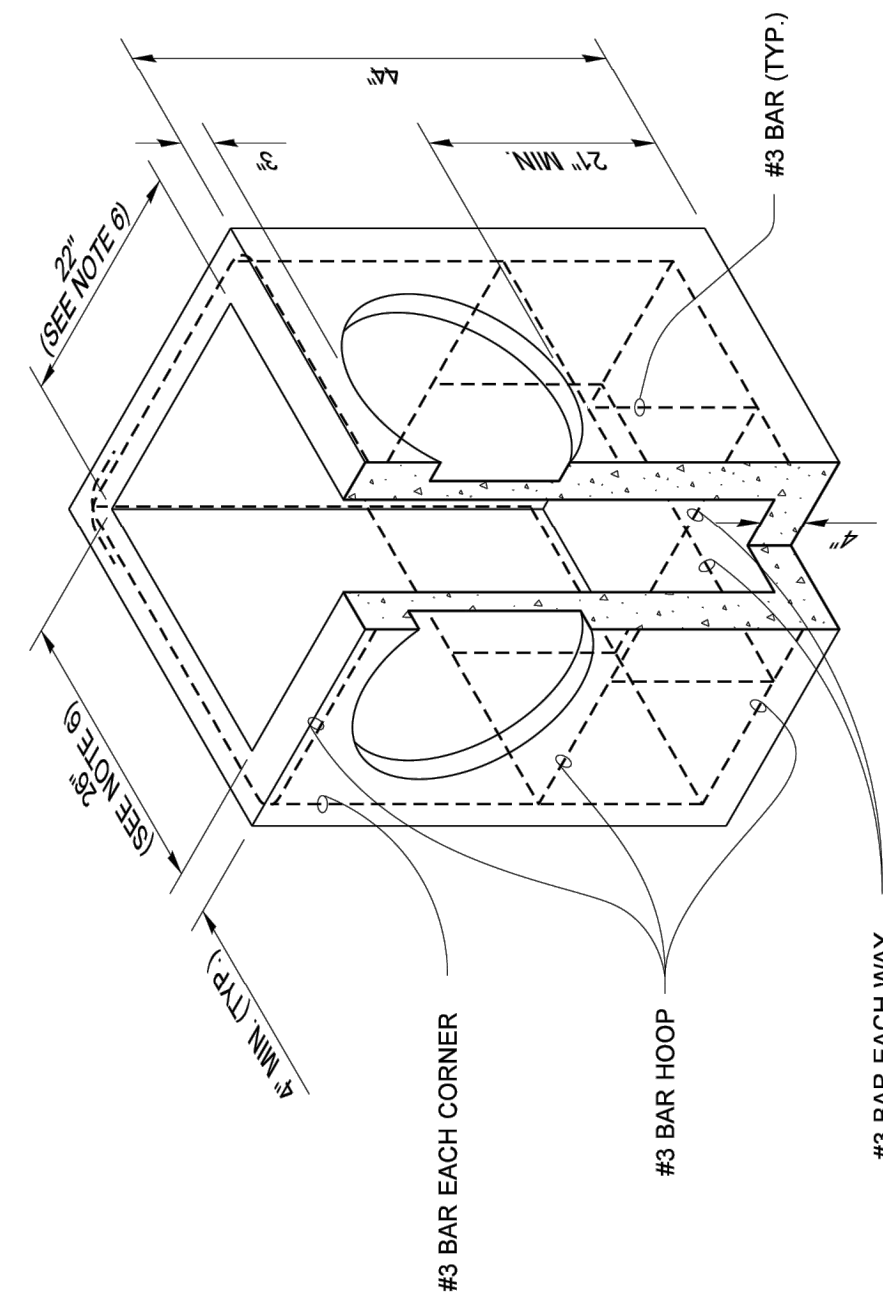
m:\yarrow point\23445.00 town wide storm and ugc\03 construction\plan revisions\23445.02 sallys alley phase 2\CIVIL\CON-DET.dwg, 1/23/2025 11:40 AM, CHRIS BACON



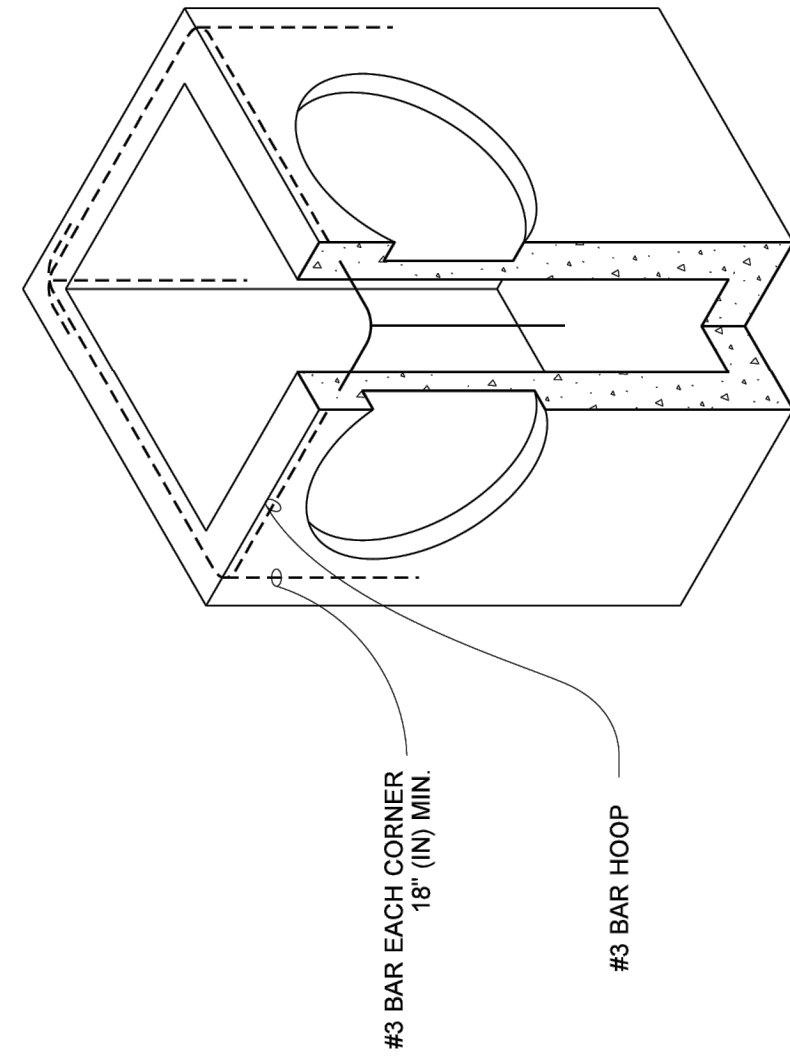
FRAME AND VANED GRATE



RECTANGULAR ADJUSTMENT SECTION



PRECAST BASE SECTION



ALTERNATIVE PRECAST BASE SECTION

PIPE ALLOWANCES	MAXIMUM INSIDE DIAMETER (INCHES)
PIPE MATERIAL	
REINFORCED OR PLAIN CONCRETE	12"
ALL METAL PIPE	15"
CPSSP * (STD. SPEC. SECT. 9-05.20)	12"
SOLID WALL PVC (STD. SPEC. SECT. 9-05.12(1))	15"
PROFILE WALL PVC (STD. SPEC. SECT. 9-05.12(2))	15"

\* CORRUGATED POLYETHYLENE STORM SEWER PIPE

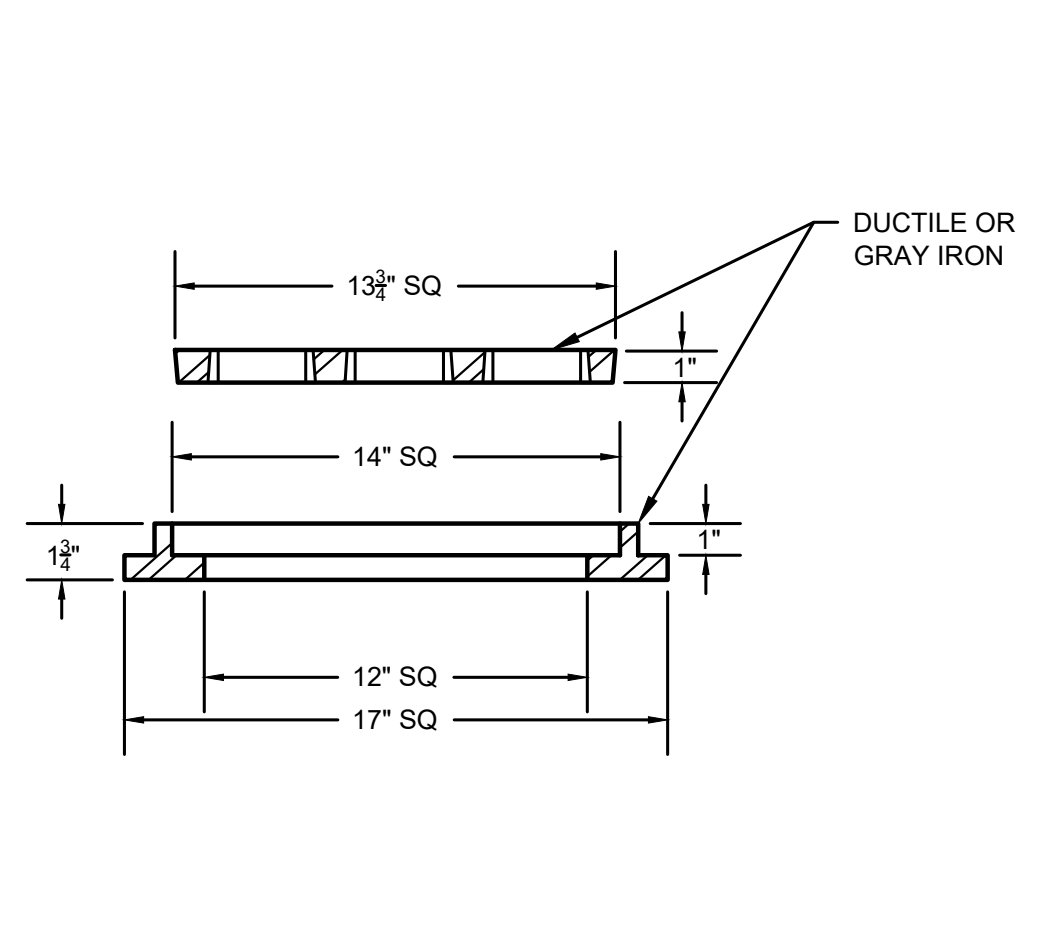
NOTES

- As acceptable alternatives to the rebar shown in the **PRECAST BASE SECTION**, fibers (placed according to the Standard Specifications), or wire mesh having a minimum area of 0.12 square inches per foot shall be used with the minimum required rebar shown in the **ALTERNATIVE PRECAST BASE SECTION**. Wire mesh shall not be placed in the knockouts.
- The knockout diameter shall not be greater than 20" (in). Knockouts shall have a wall thickness of 2" (in) minimum to 2.5" (in) maximum. Provide a 1.5" (in) minimum gap between the knockout wall and the outside of the pipe. After the pipe is installed, fill the gap with joint mortar in accordance with **Standard Specification Section 9-04.3**.
- The maximum depth from the finished grade to the lowest pipe invert shall be 5' (ft).
- The frame and grate may be installed with the flange down, or integrally cast into the adjustment section with flange up.
- The Precast Base Section may have a rounded floor, and the walls may be sloped at a rate of 1 : 24 or steeper.
- The opening shall be measured at the top of the **Precast Base Section**.
- All pickup holes shall be grouted full after the basin has been placed.

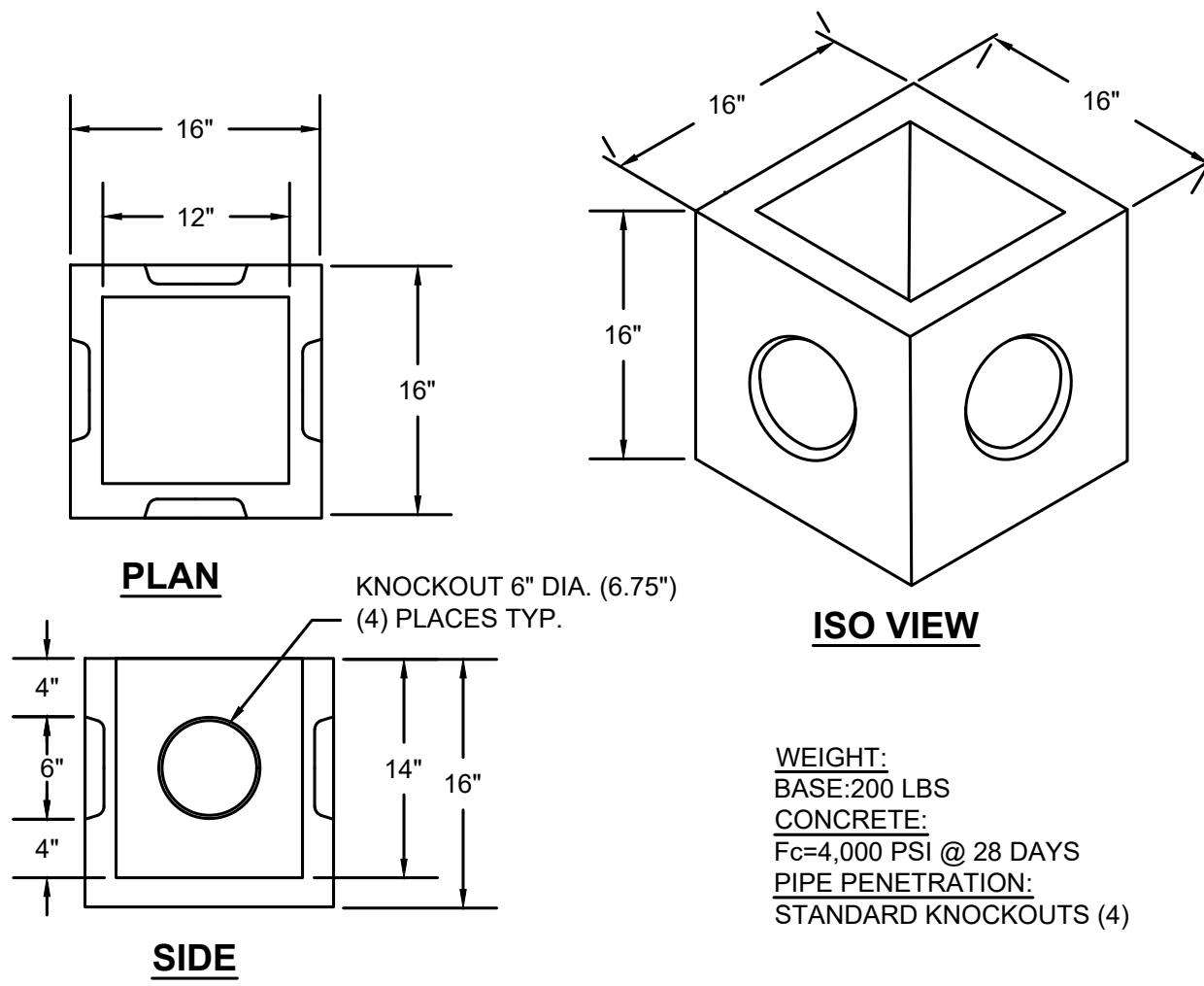


Julie Heilmann  
Heilmann, Julie  
Jan 25 2017 2:53 PM  
CATCH BASIN TYPE 1

STANDARD PLAN B-5-20-02  
SHEET 1 OF 1 SHEET  
APPROVED FOR PUBLICATION  
Jan 20 2017 6:48 AM

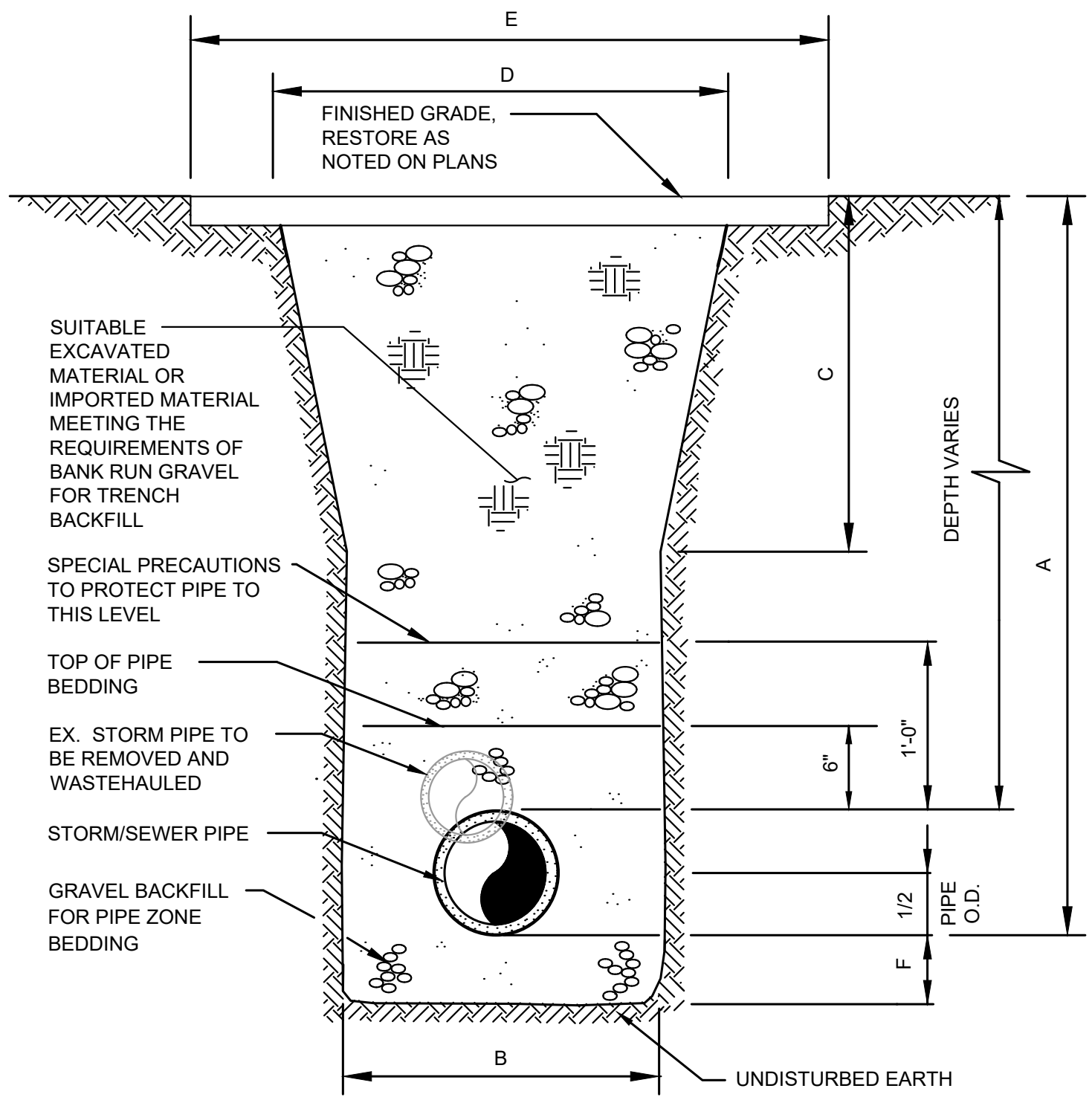


AREA DRAIN FRAME AND GRATE  
NOT TO SCALE



AREA DRAIN  
NOT TO SCALE

WEIGHT:  
BASE: 200 LBS  
CONCRETE:  
F<sub>c</sub> = 4,000 PSI @ 28 DAYS  
PIPE PENETRATION:  
STANDARD KNOCKOUTS (4)

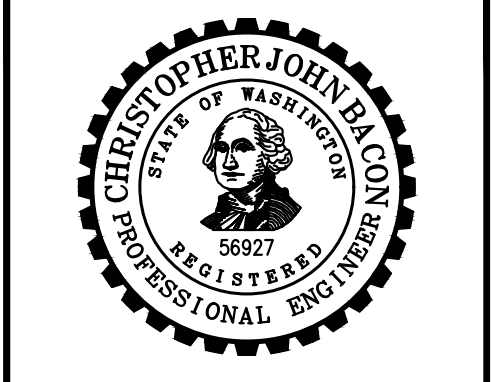


TYPICAL TRENCH SECTION  
NOT TO SCALE

4", 6", & 8" DIAMETER PIPE												
A	6" OR LESS	8"	10"	12"	14"	16"	18"	20"	22"	24"	26"	28"
B	2.50'											
C	1.50'	1.50'	1.75'	2.25'	2.75'	3.25'	3.75'	4.25'	4.75'	5.25'	5.75'	6.25'
D	5.50'	5.50'	6.00'	7.00'	8.00'	9.00'	10.00'	11.00'	12.00'	13.00'	14.00'	15.00'
E	SEE PLANS											
F	4 in											

APPROVAL FOR CONSTRUCTION  
BY: TOWN OF YARROW POINT  
DATE: JANUARY 2025  
APPROVAL EXPIRES: JANUARY 2026

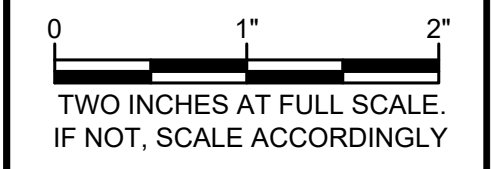
Gray & Osborne, Inc.  
CONSULTING ENGINEERS  
3710 168TH STREET NORTHEAST,  
BUILDING B, SUITE 210  
ARLINGTON, WA 98223  
(360) 454-5490



TOWN OF YARROW POINT

SALLY'S ALLEY PHASE 2

No.	DATE	REVISION
ISSUED FOR: BID PLAN SET		
ISSUE DATE: JAN 2025		
APPROVED BY: KWB		
CHECKED BY: CJB		
DRAWN BY: MAN		
G & O JOB NO.:		23445.02
FILE:		CON-DET.DWG



CIVIL

CONSTRUCTION DETAILS

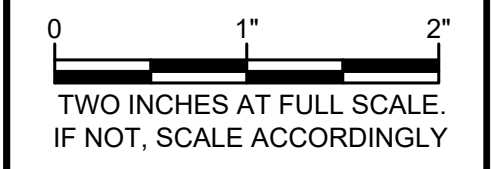
DRAWING: 7 OF 9

DRAWN BY: LISA CYFORD



No.	DATE	REVISION

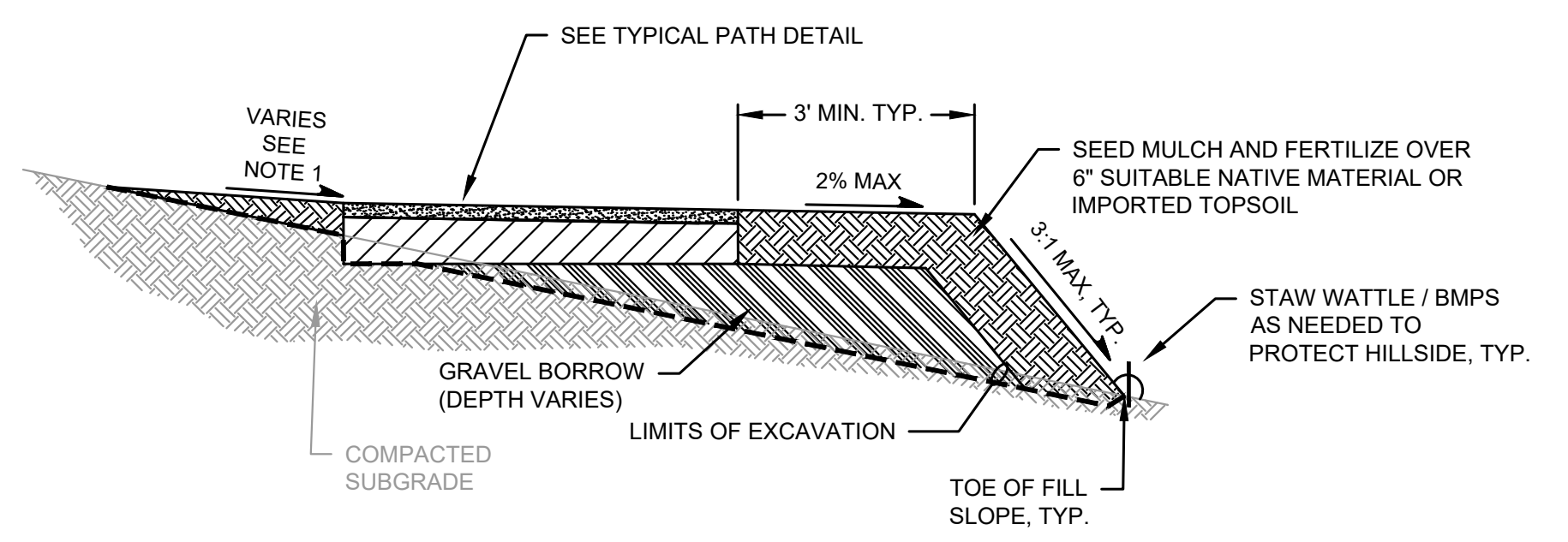
ISSUED FOR:	BID PLAN SET
ISSUE DATE:	JAN 2025
APPROVED BY:	KWB
CHECKED BY:	CJB
DRAWN BY:	MAN
G & O JOB NO.:	23445.02
FILE:	CON-DET.DWG



**CIVIL**

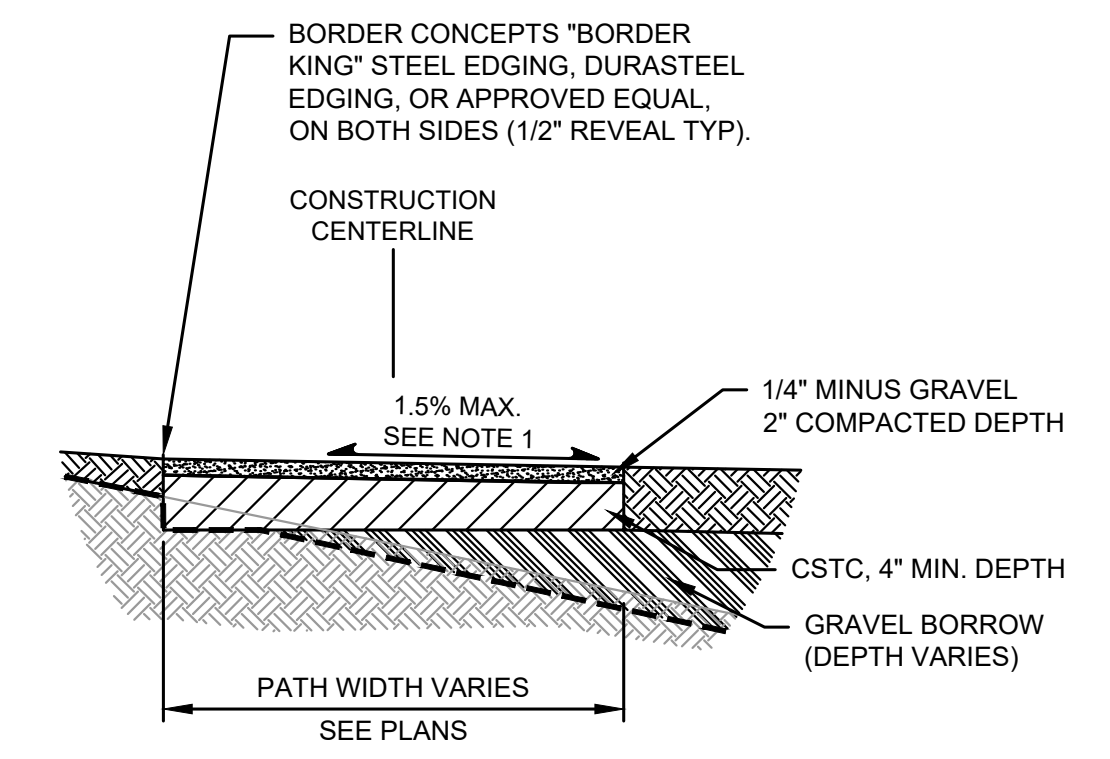
**CONSTRUCTION  
DETAILS**

DRAWING: **8** OF: **9**



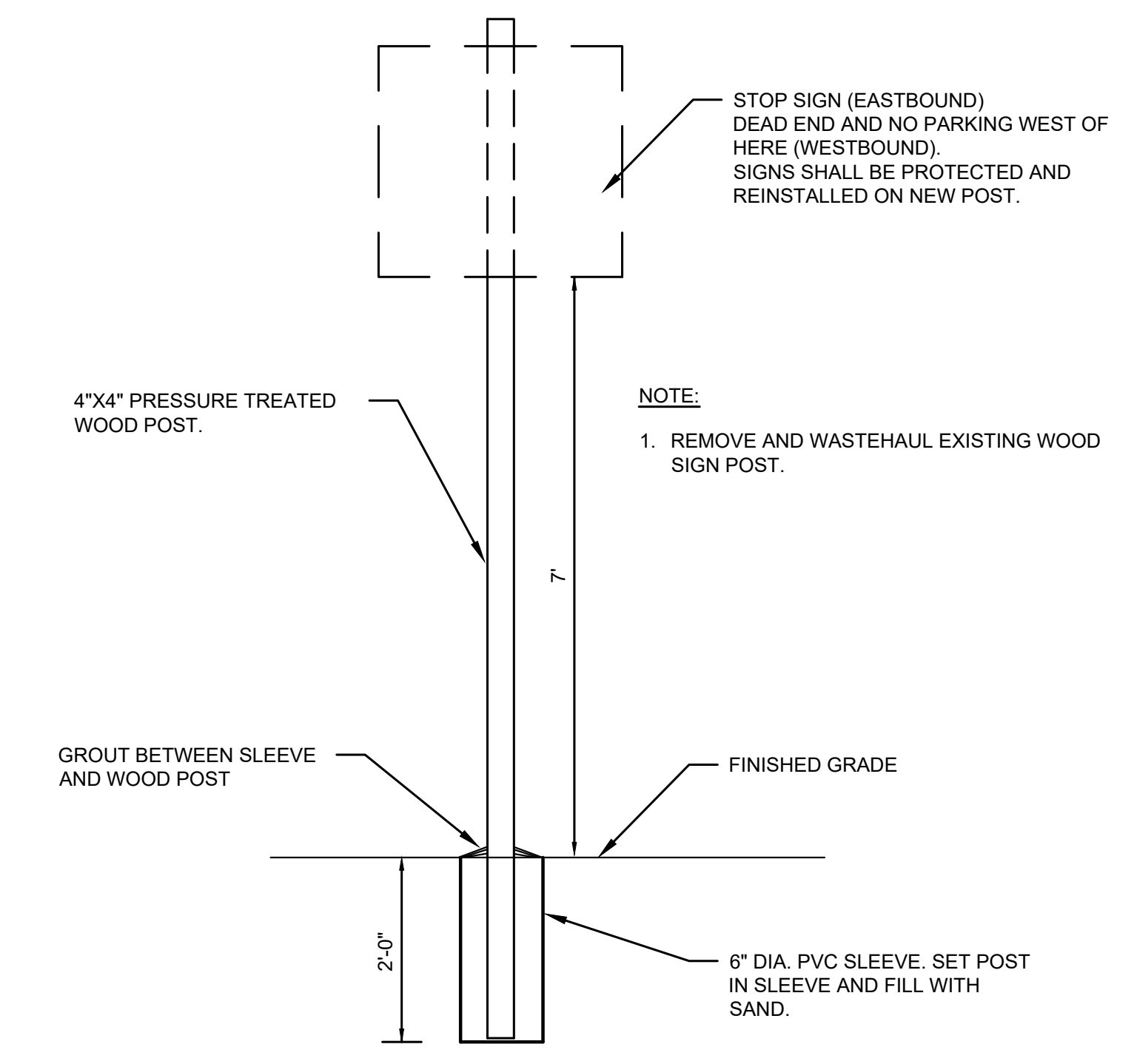
- NOTES:**
1. TRANSITION SLOPE TO MAINTAIN POSITIVE DRAINAGE OFF THE PATH.

**TYPICAL PATH SECTION**  
NOT TO SCALE



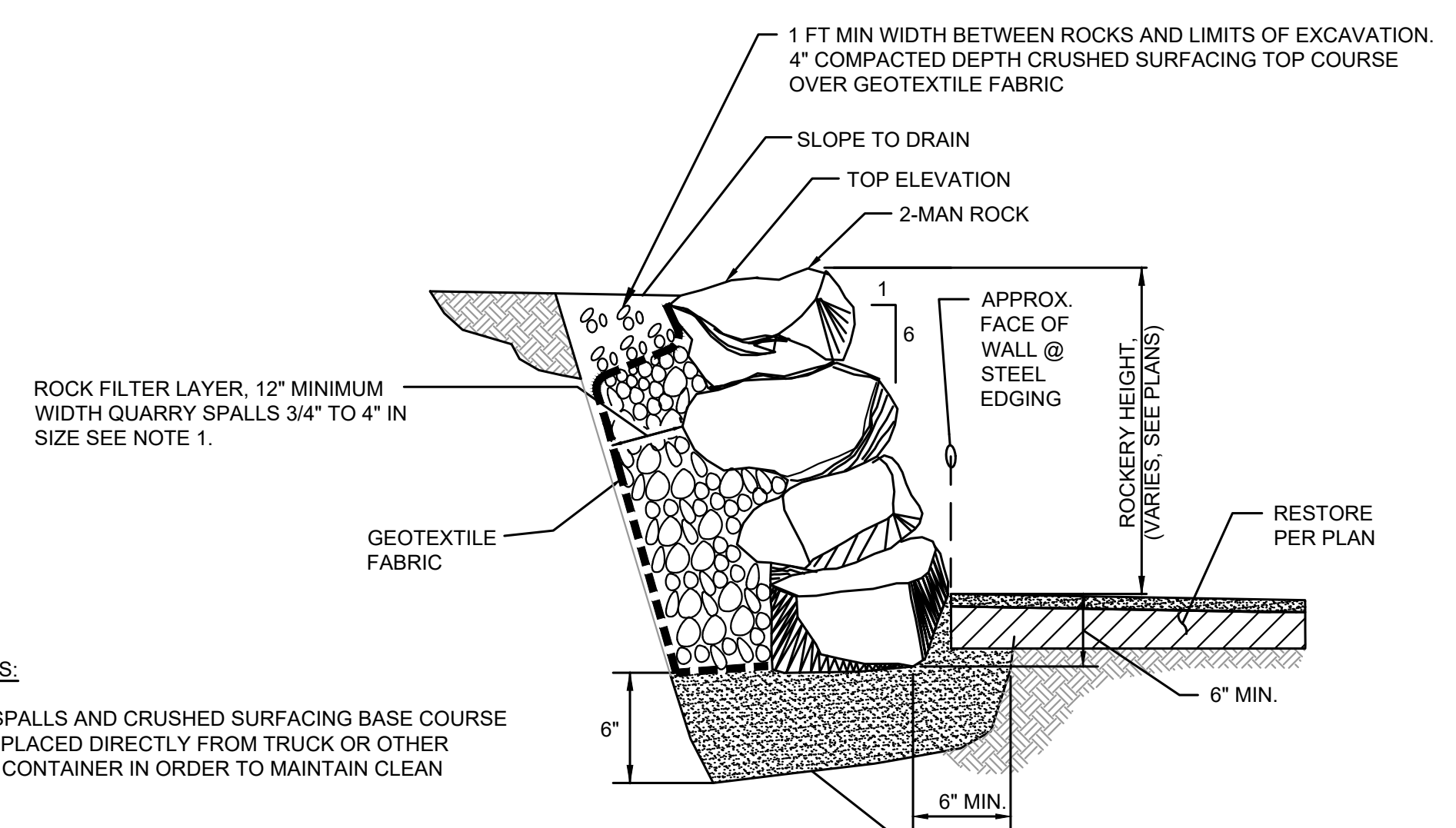
- NOTES:**
1. TRANSITION SLOPE TO MAINTAIN POSITIVE DRAINAGE.
  2. ALL DEPTHS ARE COMPACTED DEPTHS.

**TYPICAL PATH DETAIL**  
NOT TO SCALE



- NOTE:**
1. REMOVE AND WASTEHAUL EXISTING WOOD SIGN POST.

**SIGN INSTALLATION DETAIL**  
NOT TO SCALE

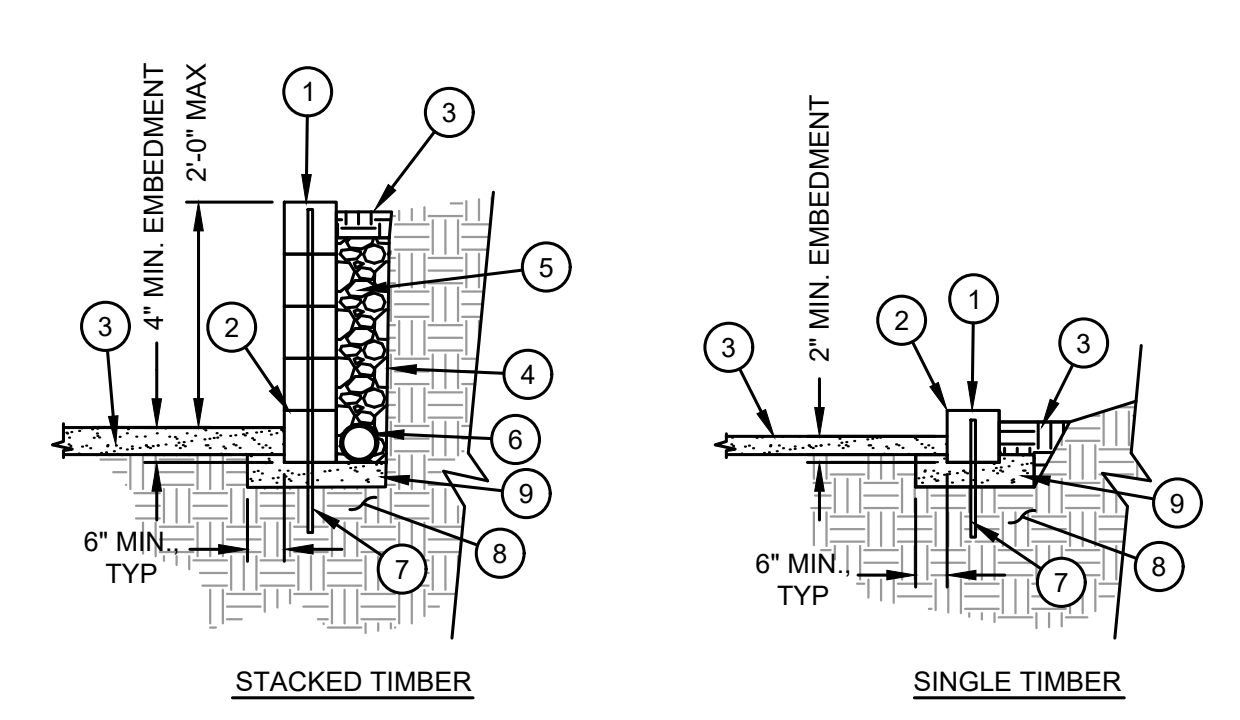


- GENERAL NOTES:**
1. QUARRY SPALLS AND CRUSHED SURFACING BASE COURSE SHALL BE PLACED DIRECTLY FROM TRUCK OR OTHER SUITABLE CONTAINER IN ORDER TO MAINTAIN CLEAN BACKFILL.
  2. OPENINGS SHALL BE 'CHINKED' WITH QUARRY SPALLS.
  3. GEOTEXTILE FABRIC SHALL BE MODERATE SURVIVABILITY CLASS A PER SECTION 9-33.1 OF THE WSDOT STANDARD SPECIFICATIONS.
  4. CONTRACTOR SHALL UTILIZE EXISTING ROCKS ON SITE. SEE IMAGE BELOW.

**ROCK WALL DETAIL**  
NOT TO SCALE

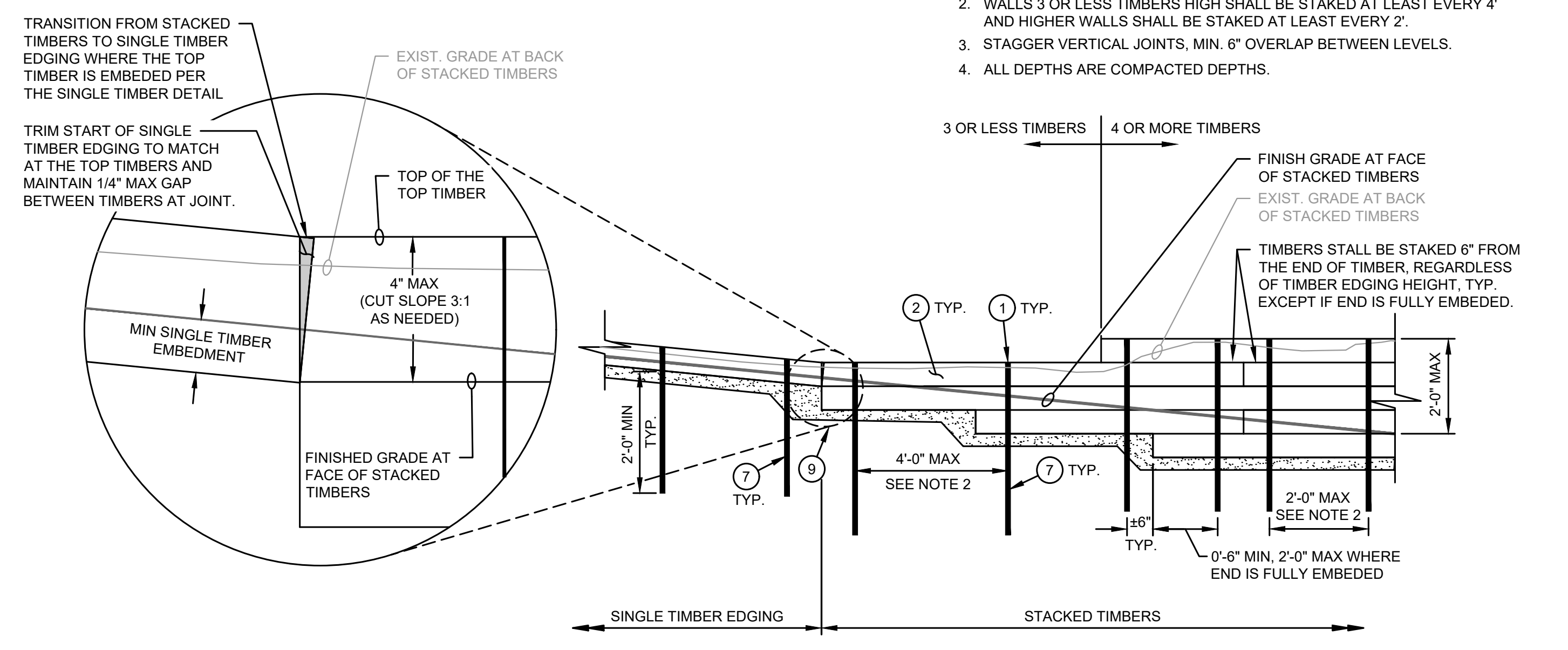


**EXISTING ROCKS IN SALLY'S ALLEY**  
PICTURE TAKEN FROM DRIVEWAY AT APPROX. STA. 205+00  
LOOKING SOUTHEAST



- 1 COUNTERSINK REBAR AND FILL HOLE WITH ACRYLIC CAULK, 1/2" DEEP
- 2 LANDSCAPE TIMBER (5 1/2" x 51/2")
- 3 SEE PLAN S.
- 4 FILTER GEOTEXTILE FABRIC SHALL BE MODERATE SURVIVABILITY CLASS A PER SECTION 9-33.1 OF THE WSDOT STANDARD SPECIFICATIONS.FABRIC
- 5 GRAVEL BACKFILL FOR DRAINS
- 6 PERFORATED 4" DRAIN PIPE, DAYLIGHT AT END OF TIMBER EDGING
- 7 #5 REBAR, 2'-0" MIN EMBEDMENT.
- 8 COMPACTED SUBGRADE
- 9 4" CSTC LEVELING PAD

- NOTES:**
1. HEIGHT SHALL BE 4" (SINGLE TIMBER) EXCEPT AS NOTED ON THE PLAN. HEIGHT OF TIMBER EDGE WILL VARY BASED ON FIELD CONDITIONS, MAINTAIN 2" MIN. ABOVE FINISH GRADE AT BACK OF TIMBER EDGING.
  2. WALLS 3 OR LESS TIMBERS HIGH SHALL BE STAKED AT LEAST EVERY 4' AND HIGHER WALLS SHALL BE STAKED AT LEAST EVERY 2'.
  3. STAGGER VERTICAL JOINTS, MIN. 6" OVERLAP BETWEEN LEVELS.
  4. ALL DEPTHS ARE COMPACTED DEPTHS.



**TIMBER EDGING**  
NOT TO SCALE

**APPROVAL FOR CONSTRUCTION**

BY: TOWN OF YARROW POINT  
DATE: JANUARY 2025

APPROVAL EXPIRES: JANUARY 2026

m:\yarrow point\23445.02 town wide storm and ugc\03 construction\plan revisions\23445.02 sallys alley phase 2\CIVIL\CON-DET.dwg, 1/23/2025 11:40 AM, CHRIS BACON

No.	DATE	REVISION

ISSUED FOR: BID PLAN SET

ISSUE DATE: JAN 2025

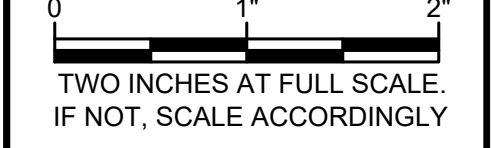
APPROVED BY: KWB

CHECKED BY: CJB

DRAWN BY: MAN

G & O JOB NO.: 23445.02

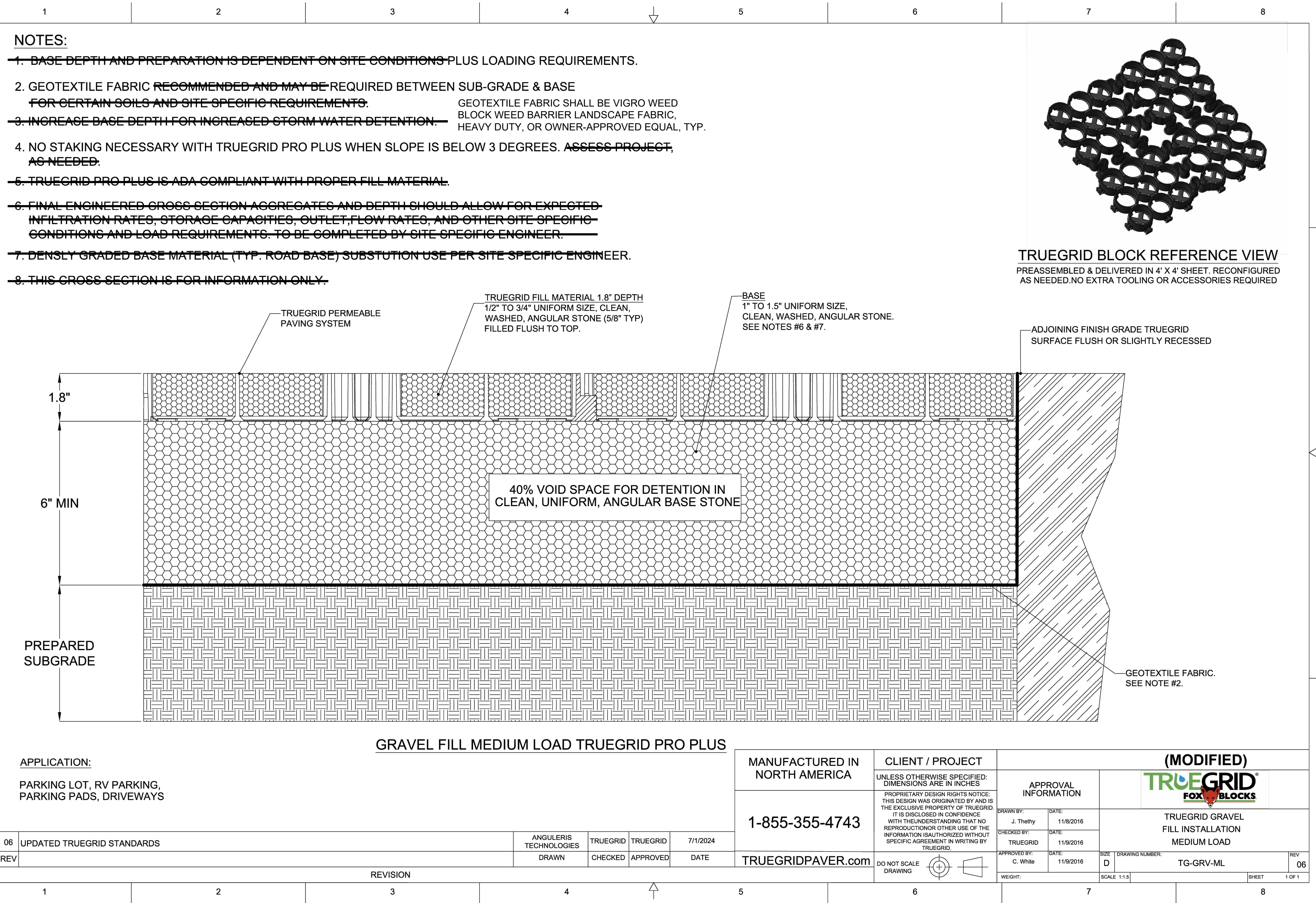
FILE: CON-DET.DWG



**CIVIL**

**CONSTRUCTION  
DETAILS**

DRAWING: **9** OF: **9**



**NOTES:**

1. BASE DEPTH AND PREPARATION IS DEPENDENT ON SITE CONDITIONS PLUS LOADING REQUIREMENTS.
2. GEOTEXTILE FABRIC RECOMMENDED AND MAY BE REQUIRED BETWEEN SUB-GRADE & BASE FOR CERTAIN SOILS AND SITE SPECIFIC REQUIREMENTS. GEOTEXTILE FABRIC SHALL BE VIGRO WEED BLOCK WEED BARRIER LANDSCAPE FABRIC, HEAVY DUTY, OR OWNER-APPROVED EQUAL, TYP.
3. INCREASE BASE DEPTH FOR INCREASED STORM WATER DETENTION.
4. NO STAKING NECESSARY WITH TRUEGRID PRO PLUS WHEN SLOPE IS BELOW 3 DEGREES. ~~ASSESS PROJECT, AS NEEDED.~~
5. TRUEGRID PRO PLUS IS ADA COMPLIANT WITH PROPER FILL MATERIAL.
6. FINAL ENGINEERED CROSS SECTION AGGREGATES AND DEPTH SHOULD ALLOW FOR EXPECTED INFILTRATION RATES, STORAGE CAPACITIES, OUTLET FLOW RATES, AND OTHER SITE SPECIFIC CONDITIONS AND LOAD REQUIREMENTS. TO BE COMPLETED BY SITE SPECIFIC ENGINEER.
7. DENSELY GRADED BASE MATERIAL (TYP. ROAD BASE) SUBSTITUTION USE PER SITE SPECIFIC ENGINEER.
8. THIS CROSS SECTION IS FOR INFORMATION ONLY.

**TRUEGRID BLOCK REFERENCE VIEW**  
PREASSEMBLED & DELIVERED IN 4' X 4' SHEET. RECONFIGURED AS NEEDED. NO EXTRA TOOLING OR ACCESSORIES REQUIRED

**APPLICATION:**  
PARKING LOT, RV PARKING,  
PARKING PADS, DRIVEWAYS

**GRAVEL FILL MEDIUM LOAD TRUEGRID PRO PLUS**

REV	DESCRIPTION	ANGULERIS TECHNOLOGIES	TRUEGRID	TRUEGRID	DATE
		DRAWN	CHECKED	APPROVED	
06	UPDATED TRUEGRID STANDARDS				7/1/2024

MANUFACTURED IN NORTH AMERICA  
**1-855-355-4743**  
TRUEGRIDPAVER.COM

CLIENT / PROJECT  
UNLESS OTHERWISE SPECIFIED: DIMENSIONS ARE IN INCHES  
PROPRIETARY DESIGN RIGHTS NOTICE: THIS DESIGN WAS ORIGINATED BY AND IS THE EXCLUSIVE PROPERTY OF TRUEGRID. IT IS DISCLOSED IN CONFIDENCE WITH THE UNDERSTANDING THAT NO REPRODUCTION OR OTHER USE OF THE INFORMATION IS AUTHORIZED WITHOUT SPECIFIC AGREEMENT IN WRITING BY TRUEGRID.  
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APPROVAL INFORMATION	
DRAWN BY: J. Thelby	DATE: 11/9/2016
CHECKED BY: TRUEGRID	DATE: 11/9/2016
APPROVED BY: C. White	DATE: 11/9/2016

**(MODIFIED)**  
**TRUEGRID**  
FOX BLOCKS  
TRUEGRID GRAVEL FILL INSTALLATION MEDIUM LOAD  
TG-GRV-ML  
REV 06  
SCALE: 1:1.5  
SHEET 1 OF 1

**REINFORCED GRAVEL DRIVEWAY DETAIL**  
NOT TO SCALE

**APPROVAL FOR CONSTRUCTION**  
BY: TOWN OF YARROW POINT  
DATE: JANUARY 2025  
APPROVAL EXPIRES: JANUARY 2026